



# KANE COUNTY

KOJZAREK, Barreiro, Dahl, Haimann, Martin, Pollock, Smith & ex-officio  
Frasz and Kenyon

## COUNTY DEVELOPMENT COMMITTEE

TUESDAY, NOVEMBER 15, 2016

---

County Board Room

Agenda

10:30 AM

Kane County Government Center, 719 S. Batavia Ave., Bldg. A, Geneva, IL 60134

---

1. **Call to Order**
2. **Approval of Minutes:** October 18, 2016
3. **Monthly Financials**
  - A. October Development Committee Financial Reports (attached)
4. **Public Comment**
5. **Building & Zoning Division**
  - A. Monthly Report (attached)
  - B. Zoning Petitions

<b>Petition #4399</b>	<b>BLACKBERRY TOWNSHIP</b>
Petitioner:	Gloria Stewart
<b>Petition #4402</b>	<b>BURLINGTON TOWNSHIP</b>
Petitioner:	Bruce Beilstein
  - E. **Resolution:** Authorizing a Contract for Demolition and Site Restoration Services with A-1 Fowler, Inc.
  - F. **Resolution:** Approving the Extension of Eight Cable Television Franchise Agreements with Subsidiaries of Comcast Corporation
6. **Planning & Special Projects**
  - A. Staff Report (attached)
7. **Subdivision**
  - A. Approve: Variations & Exceptions Request (OE-16-01) Oakshire Estates Subdivision Lots 12 & 13 Abrogation of a portion of the Private Access Easement on Lot 12 and the Abrogation of the No Access Strip on Lot 13 44W539 Oakshire Lane & 44W537 Oakshire Lane Section 25, Hampshire Township
  - B. Approve: Variations & Exceptions Request (SAHN-16-01) Pine View Subdivision Lot 17 Building Setback Line Adjustment 1N401 Shade Tree Lane Section 4, Kaneville Township
  - C. Approve: Minor Adjustment (SAHN-16-01) Springacres Hills North Subdivision Lot 76 Building Setback Line Adjustment 35W747 Valley View Road Section 9, Dundee Township
8. **Environmental Resources**

**9. Water Resources**

- A. HOA Cost-Share Presentation
- B. Inactive HOA's and SSA Policy Statement
- C. Emerald Creek Homeowners Association Establishment
- D. Still Meadows Cost Share 2016-012
- E. Stonecrest I Cost Share 2016-013
- F. **Resolution:** Authorizing Intergovernmental Agreement between the Mill Creek Water Reclamation District and the County of Kane for the Monitoring and Maintenance of Observation Wells within the Mill Creek Subdivision

**10. Office of Community Reinvestment****11. Settler's Hill End Use Update****12. New Business****13. Reports Placed On File****14. Executive Session (if needed)****15. Adjournment**

**Development Committee Revenue Report - Summary  
Through October 31, 2016 (91.7% YTD)**

	Current Month Transactions	Total Amended Budget	YTD Actual Transactions	Total % Received
<b>670 Environmental Management</b>	<b>4,895</b>	<b>2,245,099</b>	<b>519,057</b>	<b>23.12%</b>
420 Stormwater Management	1,150	417,229	211,145	50.61%
650 Enterprise Surcharge	3,745	1,799,870	229,138	12.73%
651 Enterprise General	0	28,000	78,774	281.33%
<b>690 Development</b>	<b>205,928</b>	<b>5,628,895</b>	<b>3,320,101</b>	<b>58.98%</b>
001 General Fund	62,098	1,322,900	1,121,351	84.76%
400 Economic Development	0	228,858	3,981	1.74%
401 Community Dev Block Program	35,339	1,182,178	782,829	66.22%
402 HOME Program	67,649	767,869	666,266	86.77%
403 Unincorporated Stormwater Mgmt	0	0	1,016	0.00%
404 Homeless Management Info Systems	14,043	133,745	114,862	85.88%
405 Cost Share Drainage	0	530,000	283,550	53.50%
406 OCR & Recovery Act Programs	17,425	830,503	19,509	2.35%
407 Quality of Kane Grants	0	20,000	19,620	98.10%
408 Neighborhood Stabilization Progr	0	292,386	236,119	80.76%
409 Continuum of Care Planning Grant	4,350	54,169	31,038	57.30%
410 Elgin CDBG	0	228,230	0	0.00%
435 Growing for Kane	0	0	6,754	0.00%
521 Bowes Creek Special Service Area	0	0	18	0.00%
5300 Sunvale SBA SW 37	123	488	503	103.00%
5301 Middle Creek SBA SW38	488	1,950	1,981	101.61%
5302 Shirewood Farm SSA SW39	0	2,349	2,366	100.71%
5303 Ogden Gardens SBA SW40	504	2,540	2,567	101.06%
5304 Wildwood West SBA SW41	1,105	9,752	9,841	100.92%
5305 Savanna Lakes SBA SW42	0	2,843	0	0.00%
5306 Cheval DeSelle Venetian SBA SW43	1,122	5,009	5,009	100.00%
5308 Plank Road Estates SBA SW45	600	4,925	3,280	66.60%
5310 Exposition View SBA SW47	525	4,105	3,825	93.18%
5311 Pasadena Drive SBA SW48	491	2,881	2,601	90.28%
5312 Tamara Dittman SBA SW 50	67	1,215	1,214	99.95%
<b>Grand Total</b>	<b>210,823</b>	<b>7,873,994</b>	<b>3,839,158</b>	<b>48.76%</b>

**Development Committee Expenditure Report - Summary  
Through October 31, 2016 (91.7% YTD, 92.31% Payroll)**

	Current Month Transactions	Total Amended Budget	YTD Actual Transactions	YTD Encumbrances	Total % Used
<b>670 Environmental Management</b>	<b>25,829</b>	<b>2,245,099</b>	<b>786,377</b>	<b>103,399</b>	<b>39.63%</b>
420 Stormwater Management	4,371	417,229	120,961	10,496	31.51%
650 Enterprise Surcharge	21,457	1,799,870	665,416	92,903	42.13%
651 Enterprise General	0	28,000	0	0	0.00%
<b>690 Development</b>	<b>301,877</b>	<b>5,830,379</b>	<b>3,538,806</b>	<b>345,483</b>	<b>66.62%</b>
001 General Fund	111,046	1,524,384	1,293,674	26,903	86.63%
400 Economic Development	30,045	228,858	79,472	0	34.73%
401 Community Dev Block Program	31,633	1,182,178	792,952	1,614	67.21%
402 HOME Program	47,777	767,869	608,686	0	79.27%
404 Homeless Management Info Systems	8,213	133,745	118,249	0	88.41%
405 Cost Share Drainage	64,473	530,000	404,505	316,966	136.13%
406 OCR & Recovery Act Programs	0	830,503	20,661	0	2.49%
407 Quality of Kane Grants	0	20,000	18,765	0	93.83%
408 Neighborhood Stabilization Progr	0	292,386	145,843	0	49.88%
409 Continuum of Care Planning Grant	2,277	54,169	32,645	0	60.26%
410 Elgin CDBG	6,414	228,230	22,955	0	10.06%
435 Growing for Kane	0	0	399	0	0.00%
5300 Sunvale SBA SW 37	0	488	0	0	0.00%
5301 Middle Creek SBA SW38	0	1,950	0	0	0.00%
5302 Shirewood Farm SSA SW39	0	2,349	0	0	0.00%
5303 Ogden Gardens SBA SW40	0	2,540	0	0	0.00%
5304 Wildwood West SBA SW41	0	9,752	0	0	0.00%
5305 Savanna Lakes SBA SW42	0	2,843	0	0	0.00%
5306 Cheval DeSelle Venetian SBA SW43	0	5,009	0	0	0.00%
5308 Plank Road Estates SBA SW45	0	4,925	0	0	0.00%
5310 Exposition View SBA SW47	0	4,105	0	0	0.00%
5311 Pasadena Drive SBA SW48	0	2,881	0	0	0.00%
5312 Tamara Dittman SBA SW 50	0	1,215	0	0	0.00%
<b>Grand Total</b>	<b>327,706</b>	<b>8,075,478</b>	<b>4,325,183</b>	<b>448,882</b>	<b>59.12%</b>



**Development Committee Expenditure Report - Detail  
Through October 31, 2016 (91.7% YTD, 92.31% Payroll)**

	Current Month Transactions	Total Amended Budget	YTD Actual Transactions	YTD Encumbrances	Total % Used
<b>670 Environmental Management</b>	<b>25,829</b>	<b>2,245,099</b>	<b>786,377</b>	<b>103,399</b>	<b>39.63%</b>
<b>420 Stormwater Management</b>	<b>4,371</b>	<b>417,229</b>	<b>120,961</b>	<b>10,496</b>	<b>31.51%</b>
Personnel Services- Salaries & Wages	1,794	23,982	29,365	0	122.45%
Personnel Services- Employee Benefits	449	5,891	7,886	0	133.87%
Contractual Services	2,111	385,856	83,117	10,496	24.26%
Commodities	19	1,500	592	0	39.46%
<b>650 Enterprise Surcharge</b>	<b>21,457</b>	<b>1,799,870</b>	<b>665,416</b>	<b>92,903</b>	<b>42.13%</b>
Personnel Services- Salaries & Wages	12,790	167,812	161,971	0	96.52%
Personnel Services- Employee Benefits	3,592	46,119	43,259	0	93.80%
Contractual Services	4,906	1,393,952	276,846	92,815	26.52%
Commodities	169	19,100	10,454	88	55.19%
Transfers Out	0	172,887	172,887	0	100.00%
<b>651 Enterprise General</b>	<b>0</b>	<b>28,000</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>
Contingency and Other	0	28,000	0	0	0.00%
<b>690 Development</b>	<b>301,877</b>	<b>5,830,379</b>	<b>3,538,806</b>	<b>345,483</b>	<b>66.62%</b>
<b>001 General Fund</b>	<b>111,046</b>	<b>1,524,384</b>	<b>1,293,674</b>	<b>26,903</b>	<b>86.63%</b>
Personnel Services- Salaries & Wages	88,037	1,156,792	1,032,480	0	89.25%
Personnel Services- Employee Benefits	15,274	197,573	164,575	0	83.30%
Contractual Services	7,529	137,294	83,646	1,694	62.16%
Commodities	207	32,725	12,972	1,713	44.87%
Capital	0	0	0	23,496	0.00%
<b>400 Economic Development</b>	<b>30,045</b>	<b>228,858</b>	<b>79,472</b>	<b>0</b>	<b>34.73%</b>
Personnel Services- Salaries & Wages	0	15,801	0	0	0.00%
Personnel Services- Employee Benefits	0	43,329	0	0	0.00%
Contractual Services	30,045	169,328	79,472	0	46.93%
Commodities	0	400	0	0	0.00%
<b>401 Community Dev Block Program</b>	<b>31,633</b>	<b>1,182,178</b>	<b>792,952</b>	<b>1,614</b>	<b>67.21%</b>
Personnel Services- Salaries & Wages	9,826	116,155	93,739	0	80.70%
Personnel Services- Employee Benefits	2,744	43,212	27,733	0	64.18%
Contractual Services	19,049	984,855	646,129	0	65.61%
Commodities	14	2,150	424	0	19.74%
Capital	0	2,000	2,350	1,614	198.17%
Transfers Out	0	33,806	22,577	0	66.78%
<b>402 HOME Program</b>	<b>47,777</b>	<b>767,869</b>	<b>608,686</b>	<b>0</b>	<b>79.27%</b>
Personnel Services- Salaries & Wages	3,928	46,309	44,167	0	95.38%
Personnel Services- Employee Benefits	1,049	14,138	11,256	0	79.61%
Contractual Services	42,800	704,872	553,118	0	78.47%
Commodities	0	1,050	134	0	12.78%
Capital	0	1,500	11	0	0.74%
<b>404 Homeless Management Info Systems</b>	<b>8,213</b>	<b>133,745</b>	<b>118,249</b>	<b>0</b>	<b>88.41%</b>
Personnel Services- Salaries & Wages	2,542	32,839	34,283	0	104.40%
Personnel Services- Employee Benefits	773	10,657	10,528	0	98.79%
Contractual Services	4,899	71,627	55,094	0	76.92%
Commodities	0	200	98	0	48.99%
Capital	0	18,422	18,247	0	99.05%

**Development Committee Expenditure Report - Detail  
Through October 31, 2016 (91.7% YTD, 92.31% Payroll)**

	Current Month Transactions	Total Amended Budget	YTD Actual Transactions	YTD Encumbrances	Total % Used
<b>405 Cost Share Drainage</b>	<b>64,473</b>	<b>530,000</b>	<b>404,505</b>	<b>316,966</b>	<b>136.13%</b>
Contractual Services	26,898	215,000	153,351	38,265	89.12%
Capital	37,574	315,000	251,154	278,701	168.21%
<b>406 OCR &amp; Recovery Act Programs</b>	<b>0</b>	<b>830,503</b>	<b>20,661</b>	<b>0</b>	<b>2.49%</b>
Personnel Services- Salaries & Wages	0	76,490	2,600	0	3.40%
Personnel Services- Employee Benefits	0	30,085	476	0	1.58%
Contractual Services	0	714,585	17,585	0	2.46%
Commodities	0	5,843	0	0	0.00%
Capital	0	3,500	0	0	0.00%
<b>407 Quality of Kane Grants</b>	<b>0</b>	<b>20,000</b>	<b>18,765</b>	<b>0</b>	<b>93.83%</b>
Contractual Services	0	20,000	18,765	0	93.83%
<b>408 Neighborhood Stabilization Progr</b>	<b>0</b>	<b>292,386</b>	<b>145,843</b>	<b>0</b>	<b>49.88%</b>
Contractual Services	0	292,386	145,843	0	49.88%
<b>409 Continuum of Care Planning Grant</b>	<b>2,277</b>	<b>54,169</b>	<b>32,645</b>	<b>0</b>	<b>60.26%</b>
Personnel Services- Salaries & Wages	1,564	9,195	14,768	0	160.61%
Personnel Services- Employee Benefits	713	4,607	6,634	0	144.01%
Contractual Services	0	40,367	11,242	0	27.85%
<b>410 Elgin CDBG</b>	<b>6,414</b>	<b>228,230</b>	<b>22,955</b>	<b>0</b>	<b>10.06%</b>
Personnel Services- Salaries & Wages	4,934	35,935	17,993	0	50.07%
Personnel Services- Employee Benefits	1,402	11,295	4,717	0	41.76%
Contractual Services	78	180,000	246	0	0.14%
Commodities	0	1,000	0	0	0.00%
<b>435 Growing for Kane</b>	<b>0</b>	<b>0</b>	<b>399</b>	<b>0</b>	<b>0.00%</b>
Contractual Services	0	0	399	0	0.00%
<b>5300 Sunvale SBA SW 37</b>	<b>0</b>	<b>488</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>
Transfers Out	0	488	0	0	0.00%
<b>5301 Middle Creek SBA SW38</b>	<b>0</b>	<b>1,950</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>
Contractual Services	0	200	0	0	0.00%
Transfers Out	0	1,750	0	0	0.00%
<b>5302 Shirewood Farm SSA SW39</b>	<b>0</b>	<b>2,349</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>
Transfers Out	0	2,349	0	0	0.00%
<b>5303 Ogden Gardens SBA SW40</b>	<b>0</b>	<b>2,540</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>
Transfers Out	0	2,540	0	0	0.00%
<b>5304 Wildwood West SBA SW41</b>	<b>0</b>	<b>9,752</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>
Contractual Services	0	1,000	0	0	0.00%
Transfers Out	0	8,752	0	0	0.00%
<b>5305 Savanna Lakes SBA SW42</b>	<b>0</b>	<b>2,843</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>
Transfers Out	0	2,843	0	0	0.00%
<b>5306 Cheval DeSelle Venetian SBA SW43</b>	<b>0</b>	<b>5,009</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>
Contingency and Other	0	86	0	0	0.00%
Transfers Out	0	4,923	0	0	0.00%
<b>5308 Plank Road Estates SBA SW45</b>	<b>0</b>	<b>4,925</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>
Contractual Services	0	1,575	0	0	0.00%
Contingency and Other	0	92	0	0	0.00%
Transfers Out	0	3,258	0	0	0.00%
<b>5310 Exposition View SBA SW47</b>	<b>0</b>	<b>4,105</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>

**Development Committee Expenditure Report - Detail  
Through October 31, 2016 (91.7% YTD, 92.31% Payroll)**

	Current Month Transactions	Total Amended Budget	YTD Actual Transactions	YTD Encumbrances	Total % Used
Contractual Services	0	466	0	0	0.00%
Contingency and Other	0	62	0	0	0.00%
Transfers Out	0	3,577	0	0	0.00%
<b>5311 Pasadena Drive SBA SW48</b>	<b>0</b>	<b>2,881</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>
Contractual Services	0	476	0	0	0.00%
Contingency and Other	0	40	0	0	0.00%
Transfers Out	0	2,365	0	0	0.00%
<b>5312 Tamara Dittman SBA SW 50</b>	<b>0</b>	<b>1,215</b>	<b>0</b>	<b>0</b>	<b>0.00%</b>
Transfers Out	0	1,215	0	0	0.00%
<b>Grand Total</b>	<b>327,706</b>	<b>8,075,478</b>	<b>4,325,183</b>	<b>448,882</b>	<b>59.12%</b>



# Development Accounts Payable by GL Distribution

Payment Date Range 10/01/16 - 10/31/16

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
<b>Fund 001 - General Fund</b>											
Department <b>690 - Development</b>											
Sub-Department <b>690 - County Development</b>											
Account <b>50150 - Contractual/Consulting Services</b>											
1248 - Kinnally Flaherty Krentz Loran Hodge & Masur PC	2093-05/5	MAXXAM PARTNERS, SPECIAL USE PERMIT 4364	Paid by Check # 353713		06/30/2016	10/21/2016	10/21/2016		10/31/2016	570.00	
1248 - Kinnally Flaherty Krentz Loran Hodge & Masur PC	2093-05/6	MAXXAM PARTNERS SPEC USE PERMIT 4364	Paid by Check # 353713		07/31/2016	10/21/2016	10/21/2016		10/31/2016	142.50	
1248 - Kinnally Flaherty Krentz Loran Hodge & Masur PC	2093-05/8	MAXXAM PARTNERS SPEC USE PERMIT 4364	Paid by Check # 353713		09/30/2016	10/21/2016	10/21/2016		10/31/2016	950.00	
1248 - Kinnally Flaherty Krentz Loran Hodge & Masur PC	2093-03/26	VILL OF CAMPTON HILLS COMCAST	Paid by Check # 353713		08/31/2016	10/21/2016	10/21/2016		10/31/2016	195.46	
1248 - Kinnally Flaherty Krentz Loran Hodge & Masur PC	2093-03/27	VILL OF CAMPTON HILLS COMCAST	Paid by Check # 353713		09/30/2016	10/21/2016	10/21/2016		10/31/2016	1,620.46	
1248 - Kinnally Flaherty Krentz Loran Hodge & Masur PC	2093-05/7	MAXXAM PARTNERS SPEC USE PERMIT 4364	Paid by Check # 353713		08/31/2016	10/21/2016	10/21/2016		10/31/2016	237.50	
									Account <b>50150 - Contractual/Consulting Services</b> Totals	Invoice Transactions 6	\$3,715.92
Account <b>52140 - Repairs and Maint- Copiers</b>											
8930 - Impact Networking, LLC	703022	COPIER MAINT/ TONER	Paid by EFT # 37190		08/25/2016	10/21/2016	10/21/2016		10/31/2016	457.42	
									Account <b>52140 - Repairs and Maint- Copiers</b> Totals	Invoice Transactions 1	\$457.42
Account <b>52230 - Repairs and Maint- Vehicles</b>											
5243 - Duke & Lee's Service Corp	030269	VEHICLE MAINT	Paid by Check # 353668		09/13/2016	10/21/2016	10/21/2016		10/31/2016	186.00	
4526 - Fifth Third Bank	1399-MV-0916K	GENEVA CAR WASH MAINT	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	70.00	
1370 - Zimmerman Ford, Inc.	35110	VEHICLE MAINT	Paid by Check # 353816		09/14/2016	10/21/2016	10/21/2016		10/31/2016	31.95	
									Account <b>52230 - Repairs and Maint- Vehicles</b> Totals	Invoice Transactions 3	\$287.95
Account <b>53070 - Legal Printing</b>											
2697 - Chicago Tribune	002864517	ZONING PETITIONS 4392/4394/4395/4396	Paid by Check # 353627		09/30/2016	10/21/2016	10/21/2016		10/31/2016	585.63	
2697 - Chicago Tribune	002919728	ZONING PETITIONS 4398/4390	Paid by Check # 353627		10/30/2016	10/21/2016	10/21/2016		10/31/2016	208.59	
3245 - Paddock Publications (Daily Herald)	T4452439	ZONING PETITIONS	Paid by Check # 353748		09/24/2016	10/21/2016	10/21/2016		10/31/2016	132.25	
3245 - Paddock Publications (Daily Herald)	T4452427/29	ZONING PUBLICATIONS	Paid by Check # 353748		09/17/2016	10/21/2016	10/21/2016		10/31/2016	188.60	
									Account <b>53070 - Legal Printing</b> Totals	Invoice Transactions 4	\$1,115.07



# Development Accounts Payable by GL Distribution

Payment Date Range 10/01/16 - 10/31/16

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
<b>Fund 001 - General Fund</b>										
Department <b>690 - Development</b>										
Sub-Department <b>690 - County Development</b>										
Account <b>53100 - Conferences and Meetings</b>										
4526 - Fifth Third Bank	1399-MV-08/16A	UNITED - C.TOTH CONFERENCE	Paid by EFT # 36641		09/05/2016	09/23/2016	09/23/2016		10/03/2016	196.20
4526 - Fifth Third Bank	1399-MV-08/16C	ILLINOIS GEOGRAPHIC - CONFERENCE T. MESCHER	Paid by EFT # 36641		09/05/2016	09/23/2016	09/23/2016		10/03/2016	347.50
4504 - Karen Ann Miller	082416	Karen Miller Conferences/Meeting/Mileage	Paid by EFT # 36713		08/24/2016	09/26/2016	09/26/2016		10/03/2016	28.38
4526 - Fifth Third Bank	1399-MV-0916A	URBAN LAND INSTITUTE - MDV	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	220.00
4526 - Fifth Third Bank	1399-MV-0916B	UNITED - CITYVIEW CONFERENCE J.CHA	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	40.00
4526 - Fifth Third Bank	1399-MV-0916C	UNITED CITY VIEW CONFERENCE J.CHA	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	41.00
4526 - Fifth Third Bank	1399-MV-0916D	MEIJER - SUPPLIES	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	41.60
4526 - Fifth Third Bank	1399-MV-0916E	UNITED CITY VIEW CONFERENCE J. CHA	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	269.20
4526 - Fifth Third Bank	1399-MV-0916F	PANERA BREAD - K.MILLER	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	46.17
4526 - Fifth Third Bank	1399-MV-0916G	HARRIS CONF BUNDLE CITY VIEW J. MAIR	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	902.13
4526 - Fifth Third Bank	1399-MV-0916H	CHICAGO WILDERNESS K.MILLER	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	80.00
4526 - Fifth Third Bank	1399-MV-0916I	ALA MIDWEST M.VANKERKHOFF	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	215.00
4526 - Fifth Third Bank	1399-MV-0916M	J.MAIR HOTEL STAY CITYVIEW CONFERENCE 11/16	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	217.82
4526 - Fifth Third Bank	1399-MV-0916N	CITY VIEW CONFERENCE HOTEL STAY J. CHA 11/16	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	217.82
5222 - Illinois Association of Code Enforcement (IACE)	9142016	M. SICILIANO CONFERENCE	Paid by Check # 353700		09/14/2016	10/21/2016	10/21/2016		10/31/2016	45.00
Account <b>53100 - Conferences and Meetings</b> Totals								Invoice Transactions	15	\$2,907.82
<b>Account 53120 - Employee Mileage Expense</b>										
4857 - Robert Moga	092616	Robert Moga ZBA meetings	Paid by Check # 353298		09/26/2016	09/26/2016	09/26/2016		10/03/2016	36.72
Account <b>53120 - Employee Mileage Expense</b> Totals								Invoice Transactions	1	\$36.72



# Development Accounts Payable by GL Distribution

Payment Date Range 10/01/16 - 10/31/16

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
<b>Fund 001 - General Fund</b>										
Department <b>690 - Development</b>										
Sub-Department <b>690 - County Development</b>										
Account <b>60000 - Office Supplies</b>										
4526 - Fifth Third Bank	1843-JH-0816A	AMAZON MARKET PLACE USB CABLE	Paid by EFT # 36641		09/05/2016	09/23/2016	09/23/2016		10/03/2016	10.11
								Account <b>60000 - Office Supplies</b> Totals	Invoice Transactions 1	\$10.11
Account <b>60010 - Operating Supplies</b>										
4526 - Fifth Third Bank	1399-MV-0916J	CTC MONTHLY SUB.	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	42.50
4526 - Fifth Third Bank	1399-MV-0916L	METRA - TRAIN PASS	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	44.50
								Account <b>60010 - Operating Supplies</b> Totals	Invoice Transactions 2	\$87.00
Account <b>60050 - Books and Subscriptions</b>										
4526 - Fifth Third Bank	1399-MV-08/16B	CONSTANT CONTACT SUBSCRIPTION	Paid by EFT # 36641		09/05/2016	09/23/2016	09/23/2016		10/03/2016	42.50
								Account <b>60050 - Books and Subscriptions</b> Totals	Invoice Transactions 1	\$42.50
								Sub-Department <b>690 - County Development</b> Totals	Invoice Transactions 34	\$8,660.51
Sub-Department <b>691 - Administrative Adjudication Prog</b>										
Account <b>50150 - Contractual/Consulting Services</b>										
2477 - Camic, Johnson, Ltd	09082016	ADMINISTRATIVE ADJUD. HEARING OFFICER 9/8/16	Paid by Check # 353619		09/08/2016	10/21/2016	10/21/2016		10/31/2016	400.00
2477 - Camic, Johnson, Ltd	10132016	ADMIN ADJUD HEARING OFFICER	Paid by Check # 353619		10/13/2016	10/21/2016	10/21/2016		10/31/2016	400.00
								Account <b>50150 - Contractual/Consulting Services</b> Totals	Invoice Transactions 2	\$800.00
								Sub-Department <b>691 - Administrative Adjudication Prog</b> Totals	Invoice Transactions 2	\$800.00
Sub-Department <b>692 - Water Resources &amp; Subdivisions</b>										
Account <b>52160 - Repairs and Maint- Equipment</b>										
1338 - Image-Pro Services & Supplies Inc	25436	PRINTER MAINTENANCE INV 25436	Paid by EFT # 36674		09/16/2016	09/20/2016	09/20/2016		10/03/2016	197.95
								Account <b>52160 - Repairs and Maint- Equipment</b> Totals	Invoice Transactions 1	\$197.95
Account <b>52230 - Repairs and Maint- Vehicles</b>										
6644 - ESERALDA MORA	101916	TOWER CAR WASH - WR TRUCK WASH/DETAILED	Paid by Check # 353735		10/19/2016	10/17/2016	10/17/2016		10/31/2016	20.00
								Account <b>52230 - Repairs and Maint- Vehicles</b> Totals	Invoice Transactions 1	\$20.00
Account <b>53070 - Legal Printing</b>										
2697 - Chicago Tribune	002876501 WR	JUD CTR PON/BECKMAN TRL INV 002876501 WR	Paid by Check # 353627		09/30/2016	10/13/2016	10/13/2016		10/31/2016	118.09



# Development Accounts Payable by GL Distribution

Payment Date Range 10/01/16 - 10/31/16

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
<b>Fund 001 - General Fund</b>											
Department <b>690 - Development</b>											
Sub-Department <b>692 - Water Resources &amp; Subdivisions</b>											
Account <b>53070 - Legal Printing</b>											
2697 - Chicago Tribune	002931224 WR	KANELAND ESTATES INV 002931224	Paid by Check # 353627		09/30/2016	10/13/2016	10/13/2016		10/31/2016	57.84	
									Account <b>53070 - Legal Printing</b> Totals	Invoice Transactions 2	\$175.93
Account <b>53100 - Conferences and Meetings</b>											
4526 - Fifth Third Bank	1283 EMA 08/16	CONSVTN FOUND RLINK 9/2016CONFERENCE TRANS#2395201	Paid by EFT # 36641		09/05/2016	09/12/2016	09/12/2016		10/03/2016	125.00	
									Account <b>53100 - Conferences and Meetings</b> Totals	Invoice Transactions 1	\$125.00
Account <b>60000 - Office Supplies</b>											
3578 - Warehouse Direct Office Products	3186812-0	Office Supplies	Paid by EFT # 36796		09/07/2016	09/12/2016	09/12/2016		10/03/2016	78.68	
3578 - Warehouse Direct Office Products	3190903-0	WATER RESOURCES-CD MAILERS INV 31909030	Paid by EFT # 36796		09/09/2016	09/16/2016	09/16/2016		10/03/2016	20.24	
3578 - Warehouse Direct Office Products	C3186812-0	WATER RESOURCES - CREDIT - CD MAILERS INV C31868120	Paid by EFT # 36796		09/12/2016	09/16/2016	09/16/2016		10/03/2016	(11.32)	
									Account <b>60000 - Office Supplies</b> Totals	Invoice Transactions 3	\$87.60
Account <b>60010 - Operating Supplies</b>											
6644 - ESMERALDA MORA	101916a	OFFICE KEYS - WALMART	Paid by Check # 353735		10/19/2016	10/17/2016	10/17/2016		10/31/2016	7.69	
									Account <b>60010 - Operating Supplies</b> Totals	Invoice Transactions 1	\$7.69
Account <b>60020 - Computer Related Supplies</b>											
1338 - Image-Pro Services & Supplies Inc	25489	PRINTER TONER CARTRIDGE INV 25489	Paid by EFT # 37189		10/18/2016	10/24/2016	10/24/2016		10/31/2016	79.84	
6644 - ESMERALDA MORA	101916b	Computer Wireless Keyboard/Mouse-Walmart	Paid by Check # 353735		10/19/2016	10/17/2016	10/17/2016		10/31/2016	32.27	
									Account <b>60020 - Computer Related Supplies</b> Totals	Invoice Transactions 2	\$112.11
									Sub-Department <b>692 - Water Resources &amp; Subdivisions</b> Totals	Invoice Transactions 11	\$726.28
									Department <b>690 - Development</b> Totals	Invoice Transactions 47	\$10,186.79
									Fund <b>001 - General Fund</b> Totals	Invoice Transactions 47	\$10,186.79



# Development Accounts Payable by GL Distribution

Payment Date Range 10/01/16 - 10/31/16

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
<b>Fund 400 - Economic Development</b>										
Department <b>690 - Development</b>										
Sub-Department <b>710 - Economic Development</b>										
Account <b>50150 - Contractual/Consulting Services</b>										
9908 - New Venture Advisors, LLC	383	KANE FOOD HUB FUNDRAISING	Paid by EFT # 37232		10/06/2016	10/21/2016	10/21/2016		10/31/2016	11,295.00
9908 - New Venture Advisors, LLC	386	CONSULTING SERVICE KC FOOD HUB	Paid by EFT # 37232		10/06/2016	10/21/2016	10/21/2016		10/31/2016	18,750.00
							Account <b>50150 - Contractual/Consulting Services</b> Totals	Invoice Transactions	2	\$30,045.00
							Sub-Department <b>710 - Economic Development</b> Totals	Invoice Transactions	2	\$30,045.00
							Department <b>690 - Development</b> Totals	Invoice Transactions	2	\$30,045.00
							Fund <b>400 - Economic Development</b> Totals	Invoice Transactions	2	\$30,045.00
<b>Fund 401 - Community Dev Block Program</b>										
Department <b>690 - Development</b>										
Sub-Department <b>711 - Community Developmt Block Grant</b>										
Account <b>50350 - Notary Services</b>										
4534 - Scott Berger	093016	Notary fees	Paid by EFT # 36848		09/30/2016	10/07/2016	10/07/2016		10/17/2016	21.00
							Account <b>50350 - Notary Services</b> Totals	Invoice Transactions	1	\$21.00
Account <b>53070 - Legal Printing</b>										
3245 - Paddock Publications (Daily Herald)	T4453233	Legal Notice - CAPER	Paid by Check # 353747		09/28/2016	10/21/2016	10/21/2016		10/31/2016	41.98
							Account <b>53070 - Legal Printing</b> Totals	Invoice Transactions	1	\$41.98
Account <b>55000 - Miscellaneous Contractual Exp</b>										
8930 - Impact Networking, LLC	710761	Konica Minolta Monthly Charge	Paid by EFT # 36675		09/12/2016	09/23/2016	09/23/2016		10/03/2016	27.10
3476 - Community Contacts, Inc.	2015-01-01-09	Housing Rehabilitation Program	Paid by Check # 353431		10/04/2016	10/07/2016	10/07/2016		10/17/2016	18,962.40
8930 - Impact Networking, LLC	724836	Konica Minolta Monthly Charge	Paid by EFT # 37190		10/10/2016	10/21/2016	10/21/2016		10/31/2016	23.37
							Account <b>55000 - Miscellaneous Contractual Exp</b> Totals	Invoice Transactions	3	\$19,012.87
Account <b>60000 - Office Supplies</b>										
3578 - Warehouse Direct Office Products	3226078-0	Office Supplies	Paid by EFT # 37312		10/10/2016	10/21/2016	10/21/2016		10/31/2016	14.26
							Account <b>60000 - Office Supplies</b> Totals	Invoice Transactions	1	\$14.26
							Sub-Department <b>711 - Community Developmt Block Grant</b> Totals	Invoice Transactions	6	\$19,090.11
							Department <b>690 - Development</b> Totals	Invoice Transactions	6	\$19,090.11
							Fund <b>401 - Community Dev Block Program</b> Totals	Invoice Transactions	6	\$19,090.11
<b>Fund 402 - HOME Program</b>										
Department <b>690 - Development</b>										
Sub-Department <b>712 - HOME Program</b>										
Account <b>55000 - Miscellaneous Contractual Exp</b>										
3476 - Community Contacts, Inc.	2015-01-B-02	Housing Rehabilitation Program	Paid by Check # 353225		09/20/2016	09/23/2016	09/23/2016		10/03/2016	36,501.60





# Development Accounts Payable by GL Distribution

Payment Date Range 10/01/16 - 10/31/16

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
<b>Fund 402 - HOME Program</b>										
Department <b>690 - Development</b>										
Sub-Department <b>712 - HOME Program</b>										
Account <b>55000 - Miscellaneous Contractual Exp</b>										
8023 - Housing Continuum Inc	2014-12-B-03	Foreclosure Redevelopment Housing Continuum	Paid by EFT # 36667		09/20/2016	09/23/2016	09/23/2016		10/03/2016	43,103.10
8023 - Housing Continuum Inc	2014-12-B-04	Foreclosure Redevelopment	Paid by EFT # 36927		09/30/2016	10/07/2016	10/07/2016		10/17/2016	42,800.00
							Account <b>55000 - Miscellaneous Contractual Exp</b> Totals	Invoice Transactions	3	\$122,404.70
							Sub-Department <b>712 - HOME Program</b> Totals	Invoice Transactions	3	\$122,404.70
							Department <b>690 - Development</b> Totals	Invoice Transactions	3	\$122,404.70
							Fund <b>402 - HOME Program</b> Totals	Invoice Transactions	3	\$122,404.70
<b>Fund 404 - Homeless Management Info Systems</b>										
Department <b>690 - Development</b>										
Sub-Department <b>714 - Homeless Management Info Systems</b>										
Account <b>50150 - Contractual/Consulting Services</b>										
1376 - Software Support Systems Inc.	23071	HMIS ISP Service	Paid by EFT # 37031		09/02/2016	10/07/2016	10/07/2016		10/17/2016	474.00
1376 - Software Support Systems Inc.	23072	HMIS Aug 2016 Services	Paid by EFT # 37031		09/28/2016	10/07/2016	10/07/2016		10/17/2016	4,424.75
							Account <b>50150 - Contractual/Consulting Services</b> Totals	Invoice Transactions	2	\$4,898.75
Account <b>53100 - Conferences and Meetings</b>										
4526 - Fifth Third Bank	1589-SB-08/16	OCR PCard Payment	Paid by EFT # 36641		09/05/2016	09/23/2016	09/23/2016		10/03/2016	(4.86)
							Account <b>53100 - Conferences and Meetings</b> Totals	Invoice Transactions	1	(\$4.86)
							Sub-Department <b>714 - Homeless Management Info Systems</b> Totals	Invoice Transactions	3	\$4,893.89
							Department <b>690 - Development</b> Totals	Invoice Transactions	3	\$4,893.89
							Fund <b>404 - Homeless Management Info Systems</b> Totals	Invoice Transactions	3	\$4,893.89
<b>Fund 405 - Cost Share Drainage</b>										
Department <b>690 - Development</b>										
Sub-Department <b>715 - Cost Share Drainage</b>										
Account <b>50140 - Engineering Services</b>										
10434 - Countryside Drainage LLC	2016327	JOHNSTON DRIVE OUTFALL PROJECT INV	Paid by EFT # 37131		09/13/2016	10/13/2016	10/13/2016		10/31/2016	4,455.00
5202 - Engineering Resource Associates, Inc.	16081600.01	MARYWOOD NGH DRAINAGE INV	Paid by Check # 353675		10/18/2016	10/25/2016	10/25/2016		10/31/2016	3,603.35
							Account <b>50140 - Engineering Services</b> Totals	Invoice Transactions	2	\$8,058.35
Account <b>50150 - Contractual/Consulting Services</b>										
1196 - Huddleston McBride Drainage Co.	24316	2016 AUGUST BILLING INV	Paid by EFT # 37187		10/06/2016	10/13/2016	10/13/2016		10/31/2016	9,960.00



# Development Accounts Payable by GL Distribution

Payment Date Range 10/01/16 - 10/31/16

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund <b>405 - Cost Share Drainage</b>										
Department <b>690 - Development</b>										
Sub-Department <b>715 - Cost Share Drainage</b>										
Account <b>50150 - Contractual/Consulting Services</b>										
1196 - Huddleston McBride Drainage Co.	25216	2016 SEPTEMBER BILLING INV 25216	Paid by EFT # 37187		10/15/2016	10/13/2016	10/13/2016		10/31/2016	8,880.00
							Account <b>50150 - Contractual/Consulting Services</b> Totals		Invoice Transactions 2	<b>\$18,840.00</b>
Account <b>73500 - Other Construction</b>										
1196 - Huddleston McBride Drainage Co.	22816	PULTE/CHRIST COMMUNITY CHURCH	Paid by EFT # 36669		09/12/2016	09/14/2016	09/14/2016		10/03/2016	9,297.80
10561 - TEC Excavating, Inc.	1001	JOHNSTON/LINDENWOOD OUTFALL PROJECT INV 1001	Paid by EFT # 36777		09/05/2016	09/14/2016	09/14/2016		10/03/2016	37,030.65
10561 - TEC Excavating, Inc.	1002	JOHNSTON/LINDENWOOD PROJECT INV 1002	Paid by EFT # 36777		09/14/2016	09/23/2016	09/23/2016		10/03/2016	40,622.06
10434 - Countryside Drainage LLC	2016324	KANELAND ESTATES INV 2016324	Paid by EFT # 37131		09/12/2016	10/13/2016	10/13/2016		10/31/2016	4,560.00
10477 - Matrix Utility Construction, Ltd.	16-1099	LAKE CHARLOTTE DRNGE PROJECT INV 16-1099	Paid by EFT # 37216		10/10/2016	10/20/2016	10/20/2016		10/31/2016	27,900.00
9996 - W A Management, Inc. (Waldschmidt & Assoc.)	15789	LAKE CHARLOTTE REPAIR DAMAGE INV 15789	Paid by EFT # 37309		10/14/2016	10/19/2016	10/19/2016		10/31/2016	1,750.00
1349 - Welch Bros Inc	1576319	KANELAND ESTATES DRNGE PROJECT INV 1576319	Paid by Check # 353811		10/20/2016	10/24/2016	10/24/2016		10/31/2016	3,364.40
							Account <b>73500 - Other Construction</b> Totals		Invoice Transactions 7	<b>\$124,524.91</b>
							Sub-Department <b>715 - Cost Share Drainage</b> Totals		Invoice Transactions 11	<b>\$151,423.26</b>
							Department <b>690 - Development</b> Totals		Invoice Transactions 11	<b>\$151,423.26</b>
							Fund <b>405 - Cost Share Drainage</b> Totals		Invoice Transactions 11	<b>\$151,423.26</b>



# Development Accounts Payable by GL Distribution

Payment Date Range 10/01/16 - 10/31/16

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
<b>Fund 408 - Neighborhood Stabilization Progr</b>										
Department <b>690 - Development</b>										
Sub-Department <b>720 - Neighborhood Stabilization Prgm</b>										
Account <b>55050 - Grant Expense</b>										
8545 - Spillane and Sons Ltd.	SSL0001-B-07	Foreclosure Redevelopment Program	Paid by EFT # 36766		09/23/2016	09/23/2016	09/23/2016		10/03/2016	17,687.80
							Account <b>55050 - Grant Expense</b> Totals	Invoice Transactions	1	\$17,687.80
							Sub-Department <b>720 - Neighborhood Stabilization Prgm</b> Totals	Invoice Transactions	1	\$17,687.80
							Department <b>690 - Development</b> Totals	Invoice Transactions	1	\$17,687.80
							Fund <b>408 - Neighborhood Stabilization Progr</b> Totals	Invoice Transactions	1	\$17,687.80
<b>Fund 420 - Stormwater Management</b>										
Department <b>670 - Environmental Management</b>										
Sub-Department <b>680 - Stormwater Management</b>										
Account <b>50150 - Contractual/Consulting Services</b>										
1171 - Conservation Foundation	Deicing Workshop	NPDES - Municipal Staff Training Event - Sponsor	Paid by EFT # 37126		10/10/2016	10/20/2016	10/20/2016		10/31/2016	500.00
							Account <b>50150 - Contractual/Consulting Services</b> Totals	Invoice Transactions	1	\$500.00
Account <b>53100 - Conferences and Meetings</b>										
4526 - Fifth Third Bank	4356-CG-08/16	Conference/meetings; operating supplies	Paid by EFT # 36641		09/05/2016	09/12/2016	09/12/2016		10/03/2016	25.00
4281 - Kenneth N. Anderson	101816	Lodging, meals and vehicle fuel for USGS mtg in Champaign, I	Paid by EFT # 37085		10/18/2016	10/20/2016	10/20/2016		10/31/2016	218.57
							Account <b>53100 - Conferences and Meetings</b> Totals	Invoice Transactions	2	\$243.57
Account <b>55000 - Miscellaneous Contractual Exp</b>										
1091 - V3 Construction Group LTD	Appl No 4-McLean	McLean Blvd Fen - Weed Control	Paid by Check # 353354		08/31/2016	09/23/2016	09/23/2016		10/03/2016	1,038.70
							Account <b>55000 - Miscellaneous Contractual Exp</b> Totals	Invoice Transactions	1	\$1,038.70
Account <b>55030 - Grant Pass Thru</b>										
1091 - V3 Construction Group LTD	App. No. 4 - JC	Judicial Center Weed Control	Paid by Check # 353803		09/30/2016	10/20/2016	10/20/2016		10/31/2016	1,392.00
							Account <b>55030 - Grant Pass Thru</b> Totals	Invoice Transactions	1	\$1,392.00
Account <b>60010 - Operating Supplies</b>										
4526 - Fifth Third Bank	4356-CG-08/16	Conference/meetings; operating supplies	Paid by EFT # 36641		09/05/2016	09/12/2016	09/12/2016		10/03/2016	140.85
							Account <b>60010 - Operating Supplies</b> Totals	Invoice Transactions	1	\$140.85
Account <b>63040 - Fuel- Vehicles</b>										
4281 - Kenneth N. Anderson	101816	Lodging, meals and vehicle fuel for USGS mtg in Champaign, I	Paid by EFT # 37085		10/18/2016	10/20/2016	10/20/2016		10/31/2016	18.50
							Account <b>63040 - Fuel- Vehicles</b> Totals	Invoice Transactions	1	\$18.50
							Sub-Department <b>680 - Stormwater Management</b> Totals	Invoice Transactions	7	\$3,333.62



# Development Accounts Payable by GL Distribution

Payment Date Range 10/01/16 - 10/31/16

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
<b>Fund 420 - Stormwater Management</b>											
							Department <b>670 - Environmental Management</b> Totals			Invoice Transactions 7	\$3,333.62
							Fund <b>420 - Stormwater Management</b> Totals			Invoice Transactions 7	\$3,333.62
<b>Fund 520 - Mill Creek Special Service Area</b>											
Department <b>690 - Development</b>											
Sub-Department <b>730 - Mill Creek Special Service Area</b>											
Account <b>50150 - Contractual/Consulting Services</b>											
7629 - Industrial Maintenance Services	165	MC 2016 SEPT Janitorial Services (9/6 & 9/20)	Paid by Check # 353481		09/30/2016	10/07/2016	10/07/2016		10/17/2016	60.00	
1426 - G4S Technology LLC	28423	MC 2016 SEPT Locates Acct #KA5202 Ref #15MWN000039	Paid by Check # 353685		10/18/2016	10/24/2016	10/24/2016		10/31/2016	804.88	
1426 - G4S Technology LLC	27748	MC 2016 AUG Locates Acct #KA5202 Ref #15MWN000039	Paid by Check # 353685		09/20/2016	10/24/2016	10/24/2016		10/31/2016	1,097.16	
							Account <b>50150 - Contractual/Consulting Services</b> Totals			Invoice Transactions 3	\$1,962.04
Account <b>52120 - Repairs and Maint- Grounds</b>											
8523 - Cornerstone Partners Horticultural Services Co.	CP06338	MC 2016 Landscape Maintenance (#5 of 7)	Paid by EFT # 36620		08/15/2016	09/21/2016	09/21/2016		10/03/2016	9,317.71	
8523 - Cornerstone Partners Horticultural Services Co.	CP08750	MC 2016 OCT Annual Fall Flower Bed Install	Paid by EFT # 36876		10/05/2016	10/07/2016	10/07/2016		10/17/2016	2,667.81	
8523 - Cornerstone Partners Horticultural Services Co.	CP06345	MC 2016 SEPT Landscape Maintenance Watering (#5 of 5)	Paid by EFT # 36876		09/30/2016	10/07/2016	10/07/2016		10/17/2016	3,041.51	
8302 - Lawn Fixers Inc DBA Spring Green Lawn & Tree Care	749436	MC 2016 Turf Fertilization (#3 of 3)	Paid by EFT # 36953		10/03/2016	10/07/2016	10/07/2016		10/17/2016	6,234.80	
8523 - Cornerstone Partners Horticultural Services Co.	CP06339	MC 2016 Landscape Maintenance (#6 of 7)	Paid by EFT # 37130		09/15/2016	10/21/2016	10/21/2016		10/31/2016	9,317.72	
							Account <b>52120 - Repairs and Maint- Grounds</b> Totals			Invoice Transactions 5	\$30,579.55
Account <b>52180 - Building Space Rental</b>											
9183 - Tri City Land Management Co., LLC	4490-411R001 OCT	MC 2016 OCT Office Rent	Paid by EFT # 36784		10/01/2016	09/26/2016	09/26/2016		10/03/2016	997.75	
9183 - Tri City Land Management Co., LLC	4490-411R001 NOV	MC 2016 NOV Office Rent	Paid by EFT # 37297		11/01/2016	10/24/2016	10/24/2016		10/31/2016	997.75	
							Account <b>52180 - Building Space Rental</b> Totals			Invoice Transactions 2	\$1,995.50
Account <b>52250 - Intersect Lighting Services</b>											
1257 - Rehm Electric Shop Inc	10325	MC 2016 SEPT Electric Repairs	Paid by Check # 353321		09/16/2016	09/21/2016	09/21/2016		10/03/2016	229.20	
1257 - Rehm Electric Shop Inc	10350	MC 2016 SEPT Electrical Repairs-LP #12	Paid by Check # 353538		09/30/2016	10/07/2016	10/07/2016		10/17/2016	188.50	



# Development Accounts Payable by GL Distribution

Payment Date Range 10/01/16 - 10/31/16

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
<b>Fund 520 - Mill Creek Special Service Area</b>											
Department <b>690 - Development</b>											
Sub-Department <b>730 - Mill Creek Special Service Area</b>											
Account <b>52250 - Intersect Lighting Services</b>											
1257 - Rehm Electric Shop Inc	10382	MC 2016 OCT Electric Rpr-LP#11 & Fabyan/S Mill Creek Spotlight	Paid by Check # 353766		10/20/2016	10/21/2016	10/21/2016		10/31/2016	421.75	
								Account <b>52250 - Intersect Lighting Services</b> Totals		Invoice Transactions 3	\$839.45
Account <b>53070 - Legal Printing</b>											
2697 - Chicago Tribune	002876501	MC 2016 AUG Bid Advertisement-Tree Install & Watering	Paid by Check # 353401		08/12/2016	10/07/2016	10/07/2016		10/17/2016	78.03	
								Account <b>53070 - Legal Printing</b> Totals		Invoice Transactions 1	\$78.03
Account <b>53120 - Employee Mileage Expense</b>											
10153 - William Earle	092316	MC 2016 AUG/SEPT Bill Earle Mileage Reimbursement (8/27-9/23)	Paid by Check # 353236		09/23/2016	09/23/2016	09/23/2016		10/03/2016	34.02	
10153 - William Earle	102116	MC 2016 SEPT/OCT Bill Earle Mileage Reimbursement (9/26-10/20)	Paid by Check # 353670		10/21/2016	10/24/2016	10/24/2016		10/31/2016	25.92	
								Account <b>53120 - Employee Mileage Expense</b> Totals		Invoice Transactions 2	\$59.94
Account <b>60010 - Operating Supplies</b>											
1849 - Batavia Instant Print Inc	20160660	MC 2016 SEPT Diagram Laminations	Paid by EFT # 36585		09/01/2016	09/21/2016	09/21/2016		10/03/2016	63.00	
								Account <b>60010 - Operating Supplies</b> Totals		Invoice Transactions 1	\$63.00
Account <b>63020 - Utilities- Intersect Lighting</b>											
2253 - Nicor Gas	3905811675AU/SE	MC 2016 AUG/SEP Meter #4209788 (8/19-9/19)	Paid by Check # 353303		09/19/2016	09/23/2016	09/23/2016		10/03/2016	23.86	
1054 - ComEd	8676003015 SEPT	MC 2016 SEPT Electric Utility Acct #8676003015	Paid by Check # 353422		09/29/2016	10/07/2016	10/07/2016		10/17/2016	180.43	
1054 - ComEd	0205024040 AU/SE	MC 2016 AUG/SEPT Electric Utilities Acct #0205024040	Paid by Check # 353421		09/29/2016	10/07/2016	10/07/2016		10/17/2016	417.57	
8268 - Mill Creek Water Reclamation District	16819257	MC 2016 SEPT Water/Sewer 9/2-10/2 Acct #421531 Inv #16819257	Paid by EFT # 37224		10/11/2016	10/21/2016	10/21/2016		10/31/2016	8.00	



# Development Accounts Payable by GL Distribution

Payment Date Range 10/01/16 - 10/31/16

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
<b>Fund 520 - Mill Creek Special Service Area</b>										
Department <b>690 - Development</b>										
Sub-Department <b>730 - Mill Creek Special Service Area</b>										
Account <b>63020 - Utilities- Intersect Lighting</b>										
2253 - Nicor Gas	3905811675 SE/OC	MC 2016 SEP/OCT Meter #4209788 (9/19 -10/18)	Paid by Check		10/19/2016	10/24/2016	10/24/2016		10/31/2016	27.80
							Account <b>63020 - Utilities- Intersect Lighting</b> Totals	Invoice Transactions	5	\$657.66
							Sub-Department <b>730 - Mill Creek Special Service Area</b> Totals	Invoice Transactions	22	\$36,235.17
							Department <b>690 - Development</b> Totals	Invoice Transactions	22	\$36,235.17
							Fund <b>520 - Mill Creek Special Service Area</b> Totals	Invoice Transactions	22	\$36,235.17
<b>Fund 650 - Enterprise Surcharge</b>										
Department <b>670 - Environmental Management</b>										
Sub-Department <b>670 - Enterprise Surcharge</b>										
Account <b>50140 - Engineering Services</b>										
8304 - CS Geologic LLC	469	Settlers Hill & Midway Document Reviews	Paid by EFT # 36879		09/23/2016	10/06/2016	10/06/2016		10/17/2016	736.25
							Account <b>50140 - Engineering Services</b> Totals	Invoice Transactions	1	\$736.25
Account <b>50150 - Contractual/Consulting Services</b>										
4526 - Fifth Third Bank	4356-CG-08/16	Conference/meetings; operating supplies	Paid by EFT # 36641		09/05/2016	09/12/2016	09/12/2016		10/03/2016	83.85
8980 - Fluorecycle, Inc.	37599	Fluorescent Tube Recycling Program @ Geneva Ace Hardware	Paid by EFT # 36644		09/19/2016	09/23/2016	09/23/2016		10/03/2016	145.40
8740 - Weaver Consultants Group	30130	Settlers Hill Final Design-Phases 2&3 - Res. 15-368	Paid by EFT # 36802		09/14/2016	09/23/2016	09/23/2016		10/03/2016	16,856.70
1297 - WM Curbside LLC (DBA At Your Door)	0000238-2960-9	HHW pick up service - Kane County - Res. #13-26	Paid by Check # 353582		10/01/2016	10/06/2016	10/06/2016		10/17/2016	3,537.00
4526 - Fifth Third Bank	8502-JJ-09/16	Recycling items	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	149.55
							Account <b>50150 - Contractual/Consulting Services</b> Totals	Invoice Transactions	5	\$20,772.50
Account <b>52230 - Repairs and Maint- Vehicles</b>										
4526 - Fifth Third Bank	8502-JJ-09/16	Recycling items	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	5.00
							Account <b>52230 - Repairs and Maint- Vehicles</b> Totals	Invoice Transactions	1	\$5.00
Account <b>53100 - Conferences and Meetings</b>										
4526 - Fifth Third Bank	4356-CG-08/16	Conference/meetings; operating supplies	Paid by EFT # 36641		09/05/2016	09/12/2016	09/12/2016		10/03/2016	15.00
4526 - Fifth Third Bank	4356-CG-09/16	Sustainability Programs	Paid by EFT # 37154		10/04/2016	10/20/2016	10/20/2016		10/31/2016	429.89
							Account <b>53100 - Conferences and Meetings</b> Totals	Invoice Transactions	2	\$444.89



# Development Accounts Payable by GL Distribution

Payment Date Range 10/01/16 - 10/31/16

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount	
<b>Fund 650 - Enterprise Surcharge</b>											
Department <b>670 - Environmental Management</b>											
Sub-Department <b>670 - Enterprise Surcharge</b>											
Account <b>53110 - Employee Training</b>											
4281 - Kenneth N. Anderson	092316	Mileage 8/5; 8/10; 8/15; 8/24; 8/29; 9/15 & training seminars	Paid by EFT # 36577		09/23/2016	09/23/2016	09/23/2016		10/03/2016	199.00	
									Account <b>53110 - Employee Training</b> Totals	Invoice Transactions 1	\$199.00
Account <b>53120 - Employee Mileage Expense</b>											
4281 - Kenneth N. Anderson	092316	Mileage 8/5; 8/10; 8/15; 8/24; 8/29; 9/15 & training seminars	Paid by EFT # 36577		09/23/2016	09/23/2016	09/23/2016		10/03/2016	58.32	
9484 - Cecilia Govrik	093016	Mileage 9/12; 9/17; 9/21; and 9/27/2016	Paid by EFT # 36917		09/30/2016	10/06/2016	10/06/2016		10/17/2016	48.06	
									Account <b>53120 - Employee Mileage Expense</b> Totals	Invoice Transactions 2	\$106.38
Account <b>60010 - Operating Supplies</b>											
4762 - Signs in Dundee Inc (d/b/a Signs by Tomorrow)	22980	Signs for 3 Electronics Drop Off locations	Paid by EFT # 36759		09/12/2016	09/23/2016	09/23/2016		10/03/2016	1,206.13	
4762 - Signs in Dundee Inc (d/b/a Signs by Tomorrow)	23005	Approach sign for Fabyan Electronics Drop off Site	Paid by EFT # 36759		09/20/2016	09/23/2016	09/23/2016		10/03/2016	326.28	
4762 - Signs in Dundee Inc (d/b/a Signs by Tomorrow)	22992	Approach sign for South Elgin Electronics Drop Off Site	Paid by EFT # 36759		09/15/2016	09/23/2016	09/23/2016		10/03/2016	326.28	
7318 - Hoving Pit Stop	144605	Porta Pot for 9/24 Recycling Event	Paid by Check # 353468		09/29/2016	10/06/2016	10/06/2016		10/17/2016	100.00	
4526 - Fifth Third Bank	4356-CG-09/16	Sustainability Programs	Paid by EFT # 37154		10/04/2016	10/20/2016	10/20/2016		10/31/2016	23.92	
4526 - Fifth Third Bank	8502-JJ-09/16	Recycling items	Paid by EFT # 37154		10/04/2016	10/21/2016	10/21/2016		10/31/2016	31.16	
1024 - Ready Refresh by Nestle (Ice Mountain)	1618106259438	Monthly Bottled Water Delivery Service - Environ Mgmt	Paid by EFT # 37260		10/03/2016	10/20/2016	10/20/2016		10/31/2016	13.54	
									Account <b>60010 - Operating Supplies</b> Totals	Invoice Transactions 7	\$2,027.31
									Sub-Department <b>670 - Enterprise Surcharge</b> Totals	Invoice Transactions 19	\$24,291.33
									Department <b>670 - Environmental Management</b> Totals	Invoice Transactions 19	\$24,291.33
									Fund <b>650 - Enterprise Surcharge</b> Totals	Invoice Transactions 19	\$24,291.33
									Grand Totals	Invoice Transactions 121	\$419,591.67

**Kane County Purchasing Card Information  
Development Committee  
October 2016 Statement**

<b>690 COMMUNITY REINVESTMENT</b>			
<i>Transaction Date</i>	<i>Merchant Name</i>	<i>Additional Information</i>	<i>Transaction Amount</i>
10/05/2016	NOTARY PUBLIC IL	8154554247	19.90

*Department Total*      **19.90**

<b>690 DEVELOPMENT DEPARTMENT</b>			
<i>Transaction Date</i>	<i>Merchant Name</i>	<i>Additional Information</i>	<i>Transaction Amount</i>
10/11/2016	IMAGE AWARDS AND ENGRA	GENEVA	204.14
10/24/2016	CTC CONSTANTCONTACT.C	855-2295506	42.50
10/25/2016	PARKINGMETER2 87724279	CHICAGO	3.00
10/25/2016	PARKINGMETER2 87724279	CHICAGO	4.00
10/25/2016	MCA DINING 3404	CHICAGO	52.57
10/26/2016	PARKINGMETER2 87724279	CHICAGO	2.00
10/26/2016	FOODLIFE	CHICAGO	65.31
10/26/2016	MUSEUM OF CONTEMPORARY	CHICAGO	35.00
10/27/2016	MUSEUM OF CONTEMPORARY	CHICAGO	39.00
10/31/2016	DREAMHOST DH-FEE.COM	877-8294070	119.40

*Department Total*      **566.92**

<b>690 WATER RESOURCES DEPARTMENT</b>			
<i>Transaction Date</i>	<i>Merchant Name</i>	<i>Additional Information</i>	<i>Transaction Amount</i>
10/27/2016	EB MPC ROUNDTABLEA FL	8014137200	30.00

*Department Total*      **30.00**

*Committee Total*      **616.82**



# Kane County Development & Community Services Department

---

## Monthly Report to Development Committee November 15, 2016

### Building & Zoning Division

Building Permit & Inspection Activities	2015	2016
• Building Permits issued in October	165	183
• Building Permits issued during calendar year	1488	1494
• Permits issued for new single family homes in October	4	4
• Permits issued for new single family homes during calendar year	67	51
• Permits issued for non-residential uses during calendar year	175	137
• Certificates of Occupancy Issued in October	146	47
• Certificates of Occupancy Issued during calendar year	526	407
• Inspections conducted in October	403	311
• Inspections conducted during calendar year	3660	2946
• Applications currently being processed	177	182
• Applications for single family homes	16	16
• Pending Permit Fees	\$56,355	\$58,383

Zoning Activities	2015	2016
• Zoning petitions/actions in process:	7 petitions	8 petitions

Code Enforcement Activities	2015	2016
• Total complaints during calendar year handled by Development Dept.	304	275
○ Building:	71	75
○ Zoning:	73	81
○ Property Maintenance:	158	119
○ Cases closed in October	27	13
○ New complaints received in October		
▪ Building:	8	6
▪ Zoning:	7	5
▪ Property Maintenance:	12	9

Number of Cases in Administrative Adjudication	2015	2016
○ Current cases (Building, Zoning, Property Maintenance, Well & Septic)	30	31
○ Cases heard in October	12	9
○ New hearing cases	3	3

Vacant Dwelling Registration Activities	2015	2016
○ Vacant dwellings that have been registered since 2010 (total)	328	367



## ZONING PETITION EXECUTIVE SUMMARY

### PETITION NO. 4399: Gloria Stewart

**Committee Flow:** County Development Committee, County Board  
**Contact:** Keith Berkhout, 630.232.3495, Zoning Planner, Development Department

#### Summary:

**Petition #4399**

Petitioner:

Location:

Proposed:

2040 Plan:

Objectors:

Recommendations:

**BLACKBERRY TOWNSHIP**

Gloria Stewart

Located at 44W434 Main Street Road, Section 19, Blackberry Township (11-19-400-002)

Five-year Interim Special Use request for an existing halogen lighting business

Countryside Estate Residential

None

Regional Planning Comm.: N/A

Zoning Board: Approve with the following stipulations:

1. No more than two (2) employees will be permitted.
2. One sign shall be permitted, not to exceed 2 square feet in size.

Development Committee: To be determined

STATE OF ILLINOIS

COUNTY OF KANE

**PETITION NO. 4399**  
ORDINANCE AMENDING THE  
ZONING ORDINANCE OF KANE COUNTY, ILLINOIS

BE IT ORDAINED by the County Board of Kane County, Illinois, as follows:

- 1 That a five-year Interim Special Use is hereby granted and allowed under the provisions of Article VIII, Section 8.1-2 (cc), of the Zoning Ordinance of Kane County, Illinois, allowing an existing halogen lighting business to continue to operate on the following described property:

That part of the Southeast Quarter of Section 19, Township 39 North, Range 7 East of the 3<sup>rd</sup> Principal Meridian, described as follows: Commencing at the intersection of the center line of Main Street with the West line of said Southeast Quarter; thence North 89°24'33" East along said center line, 519.26 feet; thence North 0°35'27" East 317.81 feet to the pob; thence North 03°15'53" East 161.08 feet; thence South 86°47'38" East 131.76 feet; thence South 03°15'53" West 161.08 feet; thence North 86°47'38" West 131.76 feet to the point of beginning, in Blackberry Township, Kane County, Illinois. The property is located at 44W434 Main Street.

2. That the Interim Special Use be granted with the following stipulations:
  1. No more than two (2) employees will be permitted.
  2. One sign shall be permitted, not to exceed two (2) square feet in size.
- 3 That the zoning maps of Kane County, Illinois be amended accordingly.
- 4 This ordinance shall be in full force and effect from and after its passage and approved as provided by law.

Passed by the Kane County Board on December 13, 2016.

---

John A. Cunningham  
Clerk, County Board  
Kane County, Illinois

---

Christopher J. Lauzen  
Chairman, County Board  
Kane County, Illinois

Vote:

Gloria Stewart

LORANG RD.

19

47



10 MAIN ST.

MAIN ST.



## ZONING PETITION EXECUTIVE SUMMARY

### PETITION NO. 4402: Bruce Beilstein

**Committee Flow:** County Development Committee, County Board  
**Contact:** Keith Berkhout, 630.232.3495, Zoning Planner, Development Department

#### Summary:

**Petition #4402**

Petitioner:

Location:

Proposed:

2040 Plan:

Objectors:

Recommendations:

**BURLINGTON TOWNSHIP**

Bruce Beilstein

46W898 Plank Road, Section 2, Burlington Township (04-02-300-004)

Rezoning from F-District Farming to F-1 District Rural Residential

Agricultural

None

Regional Planning Comm.: N/A

Zoning Board: Approve

Development Committee: To be determined

STATE OF ILLINOIS

COUNTY OF KANE

**PETITION NO. 4402**  
ORDINANCE AMENDING THE  
ZONING ORDINANCE OF KANE COUNTY, ILLINOIS

BE IT ORDAINED by the County Board of Kane County, Illinois, as follows:

- 1) That the following described property is hereby rezoned and reclassified from F-District Farming to F-1 District Rural Residential

That part of the Southwest Quarter of Section 2, Township 41 North, Range 6 East of the 3<sup>rd</sup> Principal Meridian, described as follows: Commencing at the Southwest corner of said Southwest Quarter, thence Easterly, along the South line of said Southwest Quarter, 535.0 feet to the point of beginning; thence continuing Easterly, along said South line, 260.0 feet, thence Northerly, at an angle of 92°04'13", measured clockwise from the last described course, parallel with the West line of said Section, 260.0 feet, thence Westerly, at an angle of 87°55'47", measured clockwise from the last described course, parallel with said South line, 260.0 feet; thence Southerly, at an angle of 92°04'13", measured clockwise from the last described course, parallel with said West line, 260.0 feet to the point of beginning. The property is located at 46W898 Plank Road.

- 2) That the zoning maps of Kane County, Illinois be amended accordingly.
- 3) This ordinance shall be in full force and effect from and after its passage and approved as provided by law.

Passed by the Kane County Board on December 13, 2016.

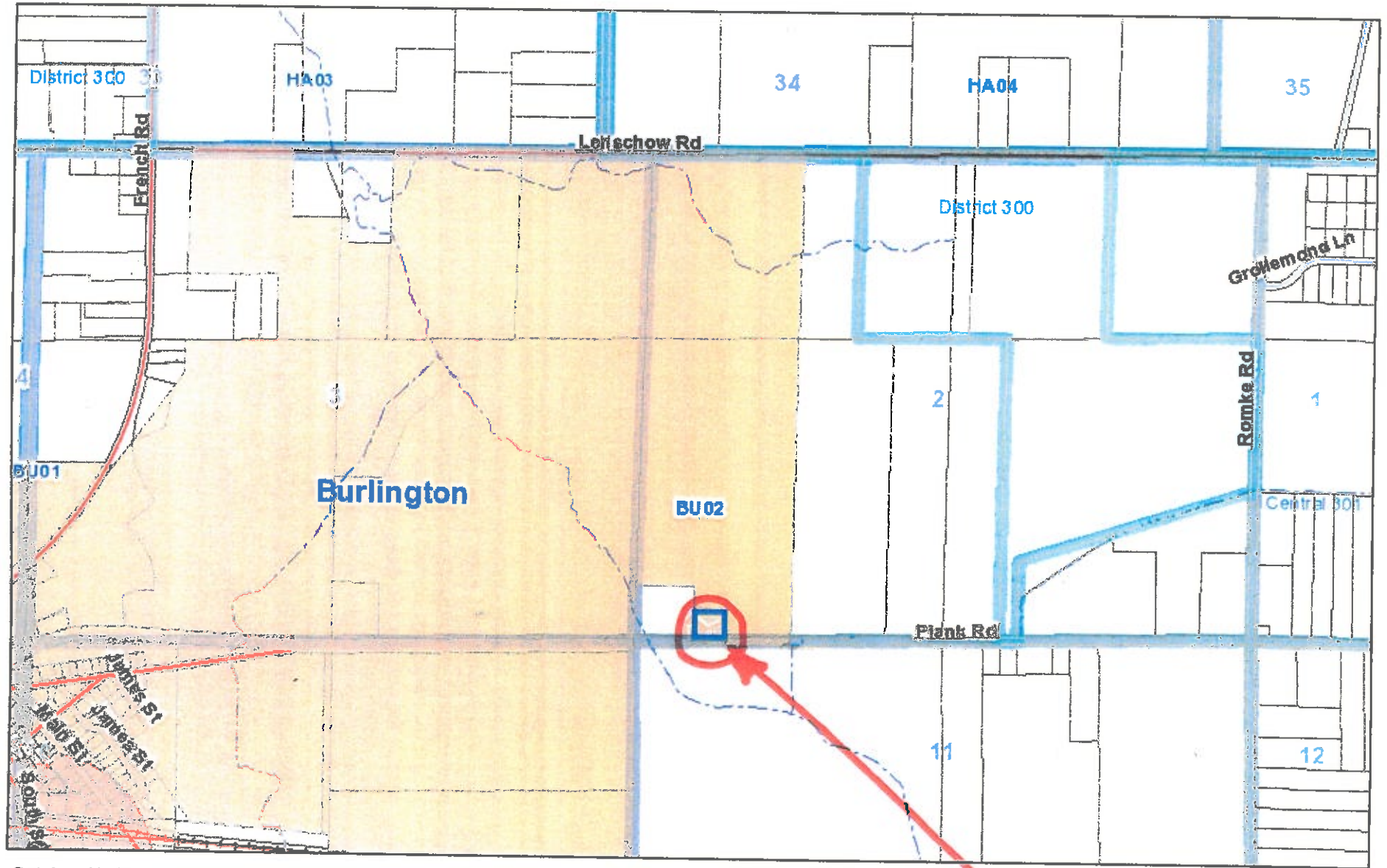
---

John A. Cunningham  
Clerk, County Board  
Kane County, Illinois  
Vote:

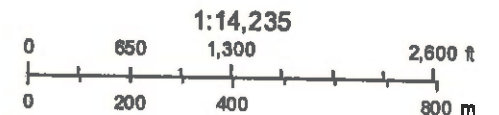
---

Christopher J. Lauzen  
Chairman, County Board  
Kane County, Illinois

# Map Title



October 11, 2016



Source : GIS-Technologies  
GIS-Technologies

These layers do not represent a survey. No Accuracy is assumed for the data delineated herein, either expressed or implied by Kane County or its employees. These layers are compiled from official records, including plats, surveys, recorded deeds, and contracts, and only contains information required for local government purposes. See the recorded documents for more detailed legal information.



## RESOLUTION/ORDINANCE EXECUTIVE SUMMARY

### Resolution No.

Authorizing a Contract for Demolition and Site Restoration Services with A-1 Fowler, Inc.

**Committee Flow:** County Development Committee, Finance and Budget Committee, Executive Committee, County Board

**Contact:** Mark VanKerkhoff, 630.232.3451

### Budget Information:

Was this item budgeted? Yes	Appropriation Amount: \$44,300
If not budgeted, explain funding source:	

### Summary:

The Kane County Purchasing Department solicited and reviewed bids for the demolition of the blighted structures located at 1565 Dearborn Ave., Aurora Township, and 1341 Ridgeway Ave., Aurora Township. The bid from A-1 Fowler, Inc., is recommended for both properties for \$24,400 and \$16,900 respectively, for a total of \$41,300.00, with an alternate bid amount of \$3,000.

The bid for both properties including alternate work totals \$44,300.00.

Staff recommends that the bid from A-1 Fowler, Inc., be approved.



STATE OF ILLINOIS

COUNTY OF KANE

RESOLUTION NO.

**AUTHORIZING A CONTRACT FOR DEMOLITION AND SITE RESTORATION SERVICES  
WITH A-1 FOWLER, INC.**

WHEREAS, the Kane County Purchasing Department solicited and reviewed bids for the demolition of the blighted structures located at 1565 Dearborn Ave., Aurora Township, and 1341 Ridgeway Ave., Aurora Township. The bid from A-1 Fowler, Inc., was accepted for both properties for \$24,400 and \$16,900 respectively, for a total of \$41,300, with quantity amounts for alternate work not to exceed \$3,000.00; and

WHEREAS, 55 ILCS 5/5-1211 authorizes the County of Kane, upon application to the circuit court, to demolish, repair, or enclose or cause the demolition, repair, or enclosure of dangerous and unsafe buildings or uncompleted and abandoned buildings within the territory of the county, but outside of the territory of any municipality, and to remove or cause the removal of garbage, debris and other hazardous, noxious, or unhealthy substances or materials from those buildings; and

WHEREAS, the scope and extent of the demolition and restoration services for both properties together including alternate work exceeded \$30,000.00; and

WHEREAS, the additional costs of the base bid and alternate work for both properties is not to exceed the total amount of \$44,300.00; and

WHEREAS, certain funds for the demolition of blighted structures have been budgeted and appropriated and are available to pay the costs associated with the demolition of dangerous and unsafe buildings within the County; and

NOW, THEREFORE, BE IT RESOLVED by the Kane County Board that the bid from A-1 Fowler, not to exceed Forty Four Thousand Three Hundred Dollars (\$44,300.00), be approved.

Passed by the Kane County Board on December 13, 2016.

---

John A. Cunningham  
Clerk, County Board  
Kane County, Illinois

---

Christopher J. Lauzen  
Chairman, County Board  
Kane County, Illinois

Vote:

16-12 Demo Contract



## RESOLUTION/ORDINANCE EXECUTIVE SUMMARY

### Resolution No.

Approving the Extension of Eight Cable Television Franchise Agreements with Subsidiaries of Comcast Corporation

**Committee Flow:** County Development Committee, Executive Committee, County Board

**Contact:** Mathew Tansley, 630.232.3493

### Budget Information:

Was this item budgeted? N/A	Appropriation Amount:
If not budgeted, explain funding source:	

### Summary:

This resolution extends the eight cable television franchise agreements with subsidiaries of Comcast Corporation as listed in Attachment A to November 30, 2017, in accordance with applicable state and federal laws with the following stipulations: 1) all past ordinances will continue to be in full force and effect; 2) the County is not waiving any rights asserted in current or future litigation 3) Any renegotiated agreement executed prior to November 30, 2017, will replace in its entirety the extended agreement(s).

STATE OF ILLINOIS

COUNTY OF KANE

RESOLUTION NO.

**APPROVING THE EXTENSION OF EIGHT CABLE TELEVISION FRANCHISE AGREEMENTS WITH SUBSIDIARIES OF COMCAST CORPORATION**

WHEREAS, the Kane County Board has enacted eight cable television franchises through various resolutions during the period from 1982 through 1992 as listed in Attachment A; and

WHEREAS, the above franchises have been transferred and /or conveyed from the original franchises to various companies; and

WHEREAS, the franchises have been transferred and/or conveyed to subsidiaries of Comcast Corporation; and

WHEREAS, the eight franchises operated by subsidiaries of Comcast Corporation have current expiration dates of November 30, 2016, as listed in Attachment A; and

WHEREAS, the Kane County Board has initiated and will continue the franchise renewal process consistent with the provisions of 47USC546 with the franchisee's for all eight franchises during December 2017 and through 2017; and

NOW, THEREFORE, BE IT RESOLVED by the Kane County Board that the eight cable television franchise agreements with subsidiaries of Comcast Corporation as listed in Attachment A are hereby extended to November 30, 2017, in accordance with applicable state and federal laws with the following stipulations: 1) all past ordinances will continue to be in full force and effect; 2) the County is not waiving any rights asserted in current or future litigation 3) Any renegotiated agreement executed prior to November 30, 2017, will replace in its entirety the extended agreement(s).

Passed by the Kane County Board on December 13, 2016.

---

John A. Cunningham  
Clerk, County Board  
Kane County, Illinois

---

Christopher J. Lauzen  
Chairman, County Board  
Kane County, Illinois

Vote:

16-12 FY17 Cable Agreement

## ATTACHMENT A

## KANE COUNTY CABLE TELEVISION FRANCHISES

Franchise Area (descriptive)	Current Parent Company	Current Franchisee	Current Agreement Adoption	Original Expiration Date	Current Expiration Date	New Expiration Date
Aurora Township	Comcast	Comcast of Illinois XIII, LP	1992 Ord. 92-133	September , 2004	November 30, 2016	November 30, 2017
Batavia Township	Comcast	Comcast of California/ Colorado/ Illinois/Indiana /Texas, Inc.	1982 Ord. 82-5	May, 1996	November 30, 2016	November 30, 2017
St. Charles and Geneva Townships	Comcast	Comcast of Illinois/Ohio/ Oregon, LLC	1992 Ord. 92-133	September , 2004	November 30, 2016	November 30, 2017
Campton Township	Comcast	Comcast of California/ Colorado/ Illinois/Indiana /Texas, Inc.	1988 Ord. 88-31	November, 2004	November 30, 2016	November 30, 2017
Plato Township	Comcast	Comcast of California/ Colorado/ Illinois/Indiana /Texas, Inc..	1989 Ord. 89-35	September , 2004	November 30, 2016	November 30, 2017
Rutland Township	Comcast	Comcast of California/ Colorado/ Illinois/Indiana /Texas, Inc.	1989 Ord. 89-171	September , 2004	November 30, 2016	November 30, 2017
Elgin Township	Comcast	Comcast of Illinois/ West Virginia, LLC	1992 Ord. 92-133	September , 2004	November 30, 2016	November 30, 2017
Dundee Township	Comcast	Comcast of Northern Illinois, Inc.	1988 Ord. 88-67	May, 1998	November 30, 2016	November 30, 2017

# Kane County Development & Community Services Department

---

## Planning & Special Projects Division Monthly Report – November 2016

*In addition to regular on-going activities, the following are highlights of regional land, agriculture and other Planning Division activities of the past month.*

### **48<sup>th</sup> Annual Illinois Basic Economic Development Course**

From October 17<sup>th</sup>-21<sup>st</sup> Chris Toth attended and completed the Illinois Basic Economic Development Course (BEDC). He spent 45 hours in the classroom learning and discussing the many various aspects of economic development, including business financing, neighborhood and downtown development, strategic planning, community development, and many more topics.

### **Chicago Wilderness Congress**

Karen Miller presented on the Wisconsin-Illinois Fox River Water Trail and the Oak Ecosystem Recovery Plan at the Chicago Wilderness Congress held on November 2nd.

### **Food to Market Challenge Pitch Event**

On October 26th Janice Hill, Mark VanKerkhoff and Matt Tansley attended the Food to Market Challenge pitch event in Chicago. Kane County was among 5 competing teams delivering presentation proposals to a panel of food industry experts and entrepreneurs.

### **Fox River Ecosystem Partnership**

On November 9<sup>th</sup> Karen Miller attended the Fox River Ecosystem Partnership Executive Committee and Membership meetings.

### **CMAP Meeting and Hampshire Planning Priorities Report**

Kane County Planning Division Staff Mark VanKerkhoff, Janice Hill, Karen Miller, Chris Toth and Matt Tansley met with CMAP project managers on October 6th to discuss the scope of a planning priorities report being developed for the Village of Hampshire. Kane staff provided input on land use issues and other community challenges facing the village.

### **Kane County Advisory Council**

Karen Miller attended the quarterly Kane County Advisory Council meeting on Nov. 10<sup>th</sup> which uses the Kane County 2040 Green Infrastructure Plan as its guide.

### **Fox Valley Sustainability Network and Local Foods**

Matt Tansley participated in a debriefing conference call with Seven Generations Ahead staff on October 19<sup>th</sup>. Staff discussed action items which emerged from the Fox Valley Sustainability Network's Local Foods subcommittee, focused on the improved coordination of resources and information for those connected with the local food supply chain.

# COUNTY OF KANE

## DIVISION OF ENVIRONMENTAL & WATER RESOURCES

Kenneth N. Anderson, Jr., Director



## County Government Center

719 S. Batavia Avenue  
Geneva, IL 60134

[www.co.kane.il.us](http://www.co.kane.il.us)

Environmental/Water:

(630) 208-5118

Fax:

(630) 208-3837

### *Plat Officer Findings and Recommendation*

To: Kane County Development Committee

From: Kenneth N. Anderson, Jr.  
Plat Officer

Date: November 15, 2016

Re: Variations & Exceptions Request (OE-16-01)

Owners of Oakshire Estates Subdivision Lots 12 & 13 are Requesting an Abrogation of a portion of the Private Access Easement on Lot 12 and the Abrogation of the No Access Strip on Lot 13

44W539 Oakshire Lane (01-25-378-005) & 44W537 Oakshire Lane (01-25-378-006)  
Section 25, Hampshire Township

Mr. & Mrs. Jacob Goebbert, lot 13 and Mr. & Mrs. Robert Waterworth, lot 12 of Oakshire Estates Subdivision are proposing a variation to abrogate the southern portion of the existing thirty (30) foot “private access easement” on lot 12 and the abrogation of the ten (10) foot “no access strip” on lot 13 to provide direct access to Brier Hill Road. The owners have provided a hand drawn exhibit date stamped October 31, 2016, which displays the proposed variation.

The Plat Officer has reviewed the request and finds the owners have met the conditions required per the Kane County Subdivision Ordinance 19-6: Variations and Exceptions which state in part: ...The plat officer shall not recommend variations or exceptions to the regulations of this chapter unless he shall make findings based upon the evidence presented to him in each specific case, that

1. Because of the particular physical surroundings, shape or topographic conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of regulations was carried out.
2. The conditions upon which the request for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property, and have not been created by any person having an interest in the property.
3. The granting of the variation will not be detrimental to the public health, safety or welfare, or injurious to other property or improvements in the neighborhood in which the property is located.

**RECOMMENDATION** The Plat Officer has determined the above-conditions to be met and recommends the Kane County Development Committee approval of this Variations and Exceptions Oakshire Estates Subdivision to abrogate the southern portion of the existing thirty (30) foot “private access easement” on lot 12 and the abrogation of the ten (10) foot “no access strip” on lot 13 to provide direct access to Brier Hill Road.

# Jacob D. Goebbert

---

44W539 Oakshire Ln, Hampshire, IL 60140 | 224-402-2938 | jacobgoebbert@gmail.com

**10/26/16**

Kane County Board

Abrogation of No Access Line Lot13 Oakshire Estates/ Abrogation of access easement from Lot 12

## **Dear Kane County Board:**

The purpose of this letter is to explain certain hardships that exist with the shared driveway between Lot 12 and Lot 13 of Oakshire Estates and ask for and abrogation of both the no access line that runs north and south along Brier Hill Road on the East Property line of Lot 13 and the access easement between Lot 12 and Lot 13 in Oakshire Estates.

Many hardships come to mind when evaluating the need for a private driveway on Lot 13 of Oakshire Estates. With a young family, one child with more to come, I am inclined to consider the dangers of my children and their peers playing on my property with vehicles from multiple parties entering and exiting the driveway. The previous owners of my home and the current owners of Lot 12 had many issues previous to our purchase. There were multiple lawsuits due to excessive speed and the specific rights of the easement. Granting a variance to allow for a private drive would significantly reduce and future problems of this nature.

The current shared driveway is very difficult to maneuver with any vehicle larger than a sedan. There are multiple elevation changes from the property line of Lot 12 to the garage of Lot 13 and simply parking a car in the garage takes a five point turn. Any larger truck or trailer is nearly impossible to maneuver. I work on my family's farm and am actively traveling to and from work during all seasons with many different vehicles and at times need access to a trailer in my yard and the current driveway makes this very difficult.

Also, due to the fact that I have a young family we are blessed to have many visitors on any given day. Parking on our property is a disaster and an accident waiting to happen. From the lot line of Lot 12 to the garage of Lot 13 there is a five foot raise in elevation which can make for dangerous conditions concerning parking. There is no room to turn around and in order to allow someone to leave all cars must be moved and this is a major inconvenience to the owners of Lot 12 creating even more traffic past their home.

Most importantly, adding an independent driveway would greatly improve the ability for Emergency Vehicle access to the property. In its current state a sole vehicle in the driveway would completely block the ability of EMS vehicles from entering. With a young family and many frequent



visitors I am concerned that our current set up is not only difficult but dangerous if there ever were to be an emergency.

As stated above, we are asking for an abrogation of the no access line on Lot 13 Oakshire Estates and abrogation of the access easement of Lot 12 Oakshire Estates. Lot 13 is the only lot in the neighborhood that does not have private access to a road and would be the only lot in the neighborhood that would need a variance of the current plat.

**Sincerely,**

**Jacob Goebbert**  
**224-402-2938**  
**[jacobgoebbert@gmail.com](mailto:jacobgoebbert@gmail.com)**

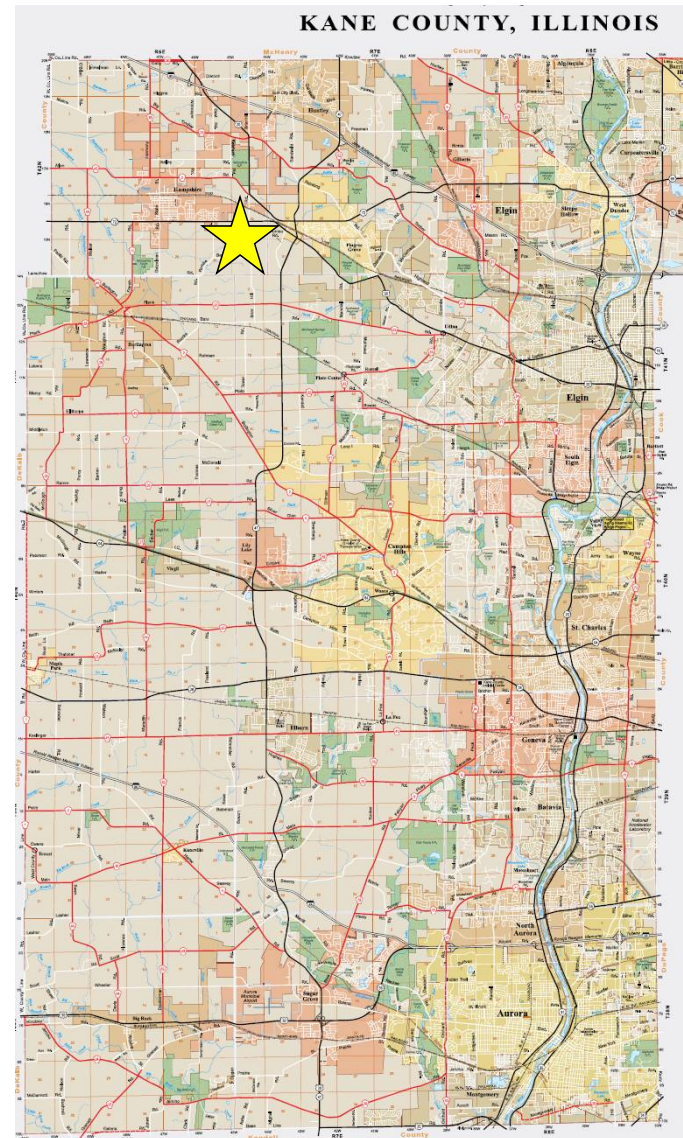
OAKSHIRE ESTATES SUBDIVISION  
Lots 12 & 13

VARIATIONS & EXCEPTIONS  
(OE-16-01)

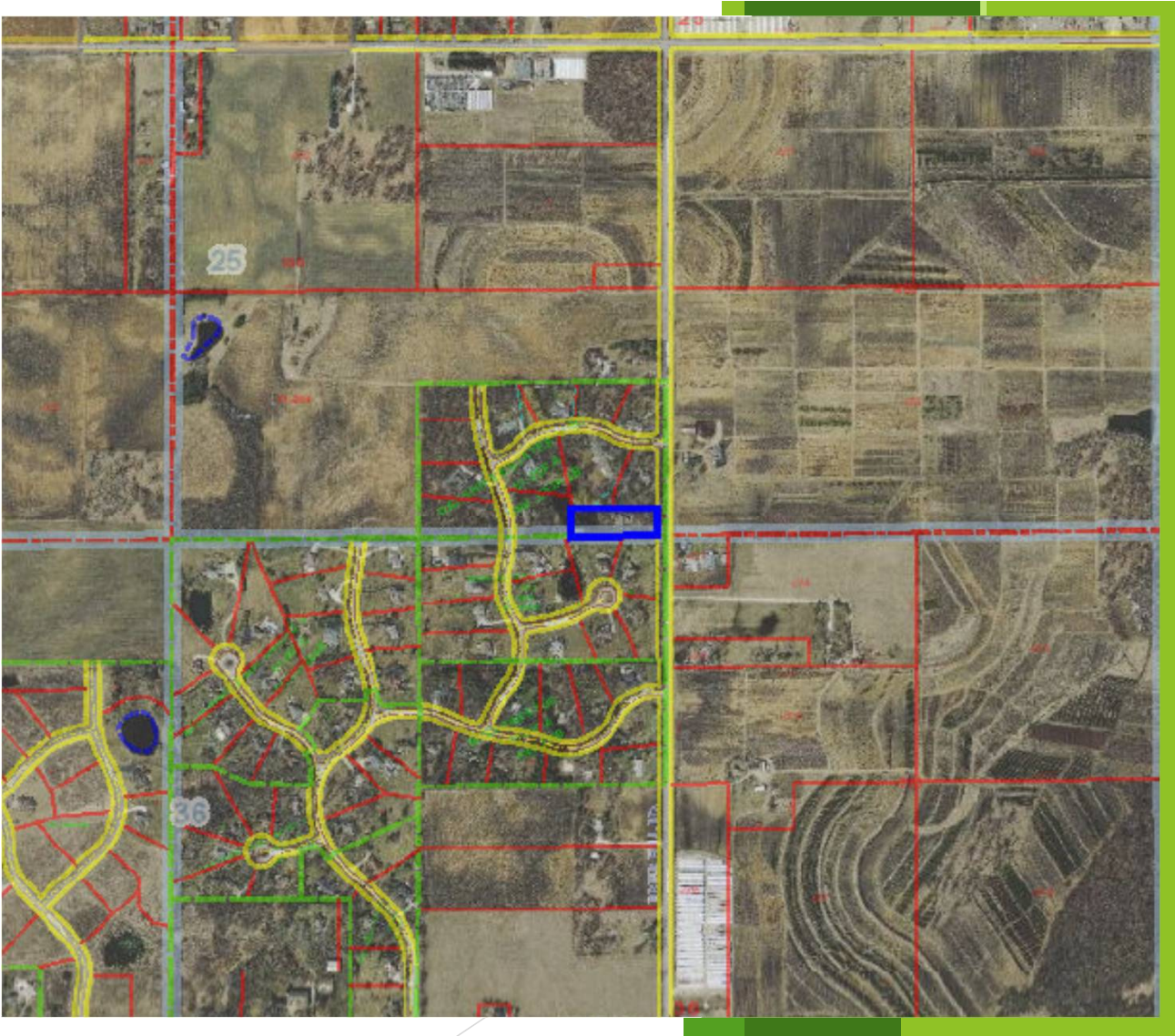
Requesting an Abrogation of a portion of the  
Private Access Easement on Lot 12 and the  
Abrogation of the No Access Strip on Lot 13

44W539 Oakshire Lane & 44W537 Oakshire Lane

Section 25, Hampshire Township

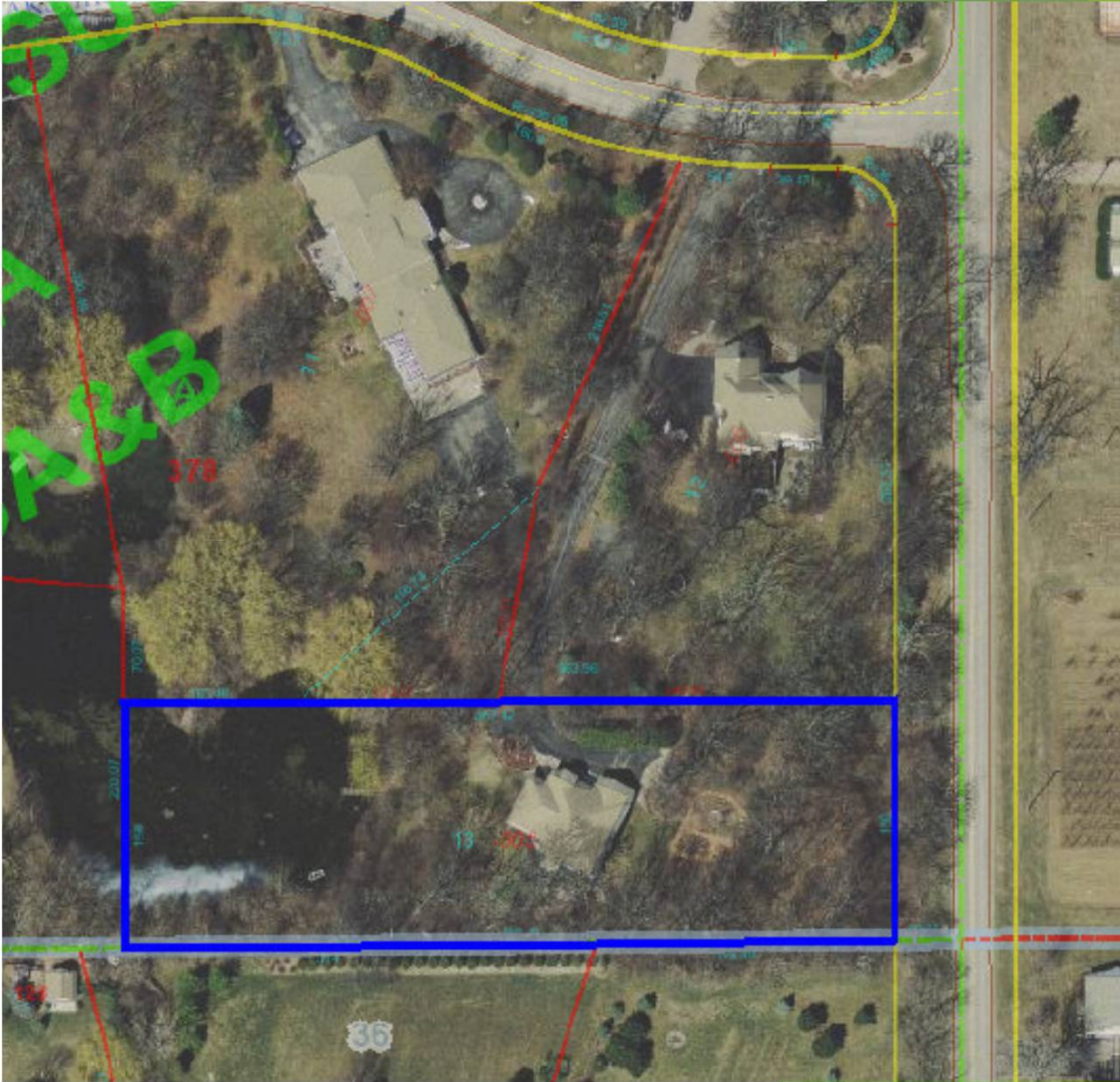


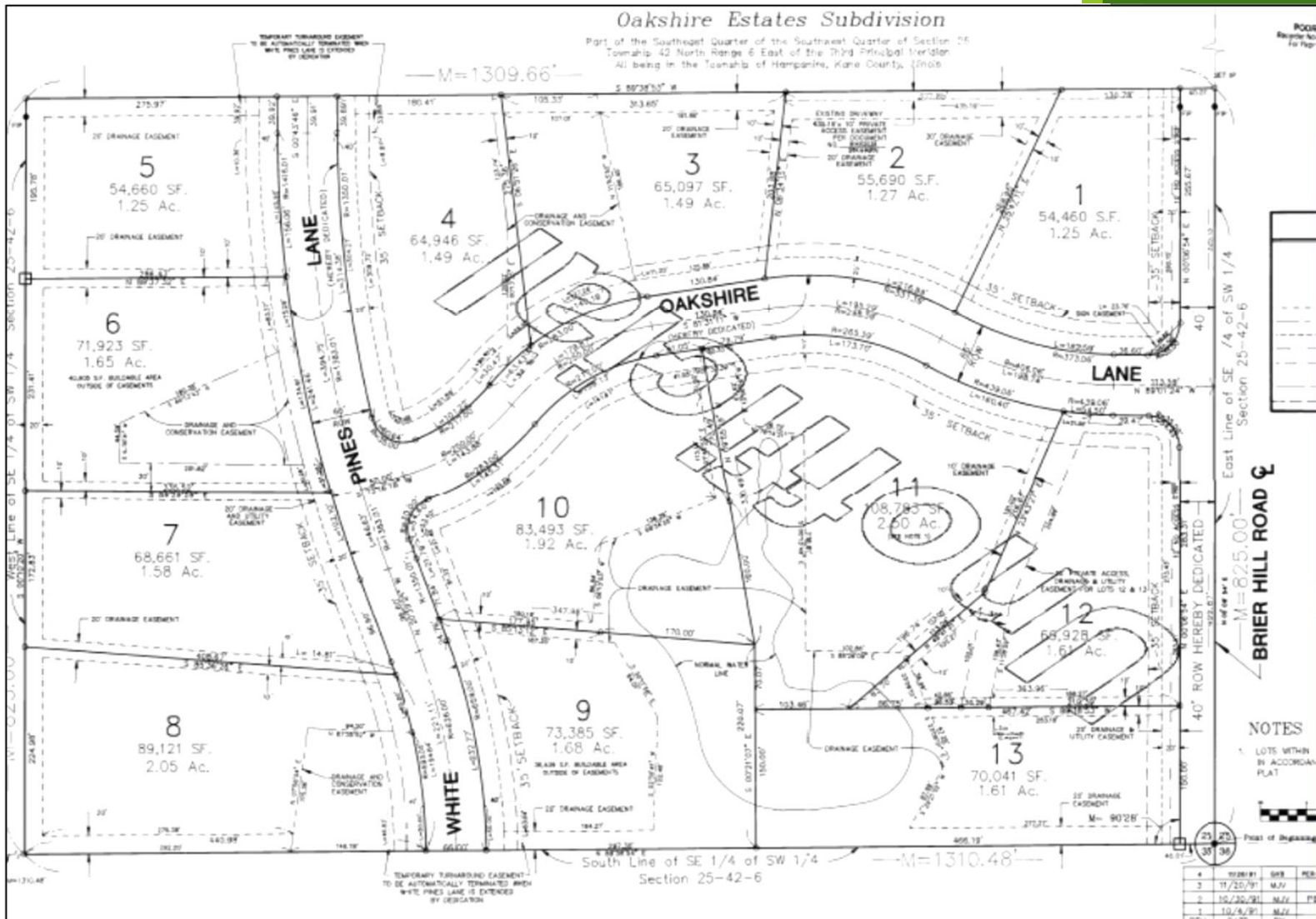
# AIR PHOTO





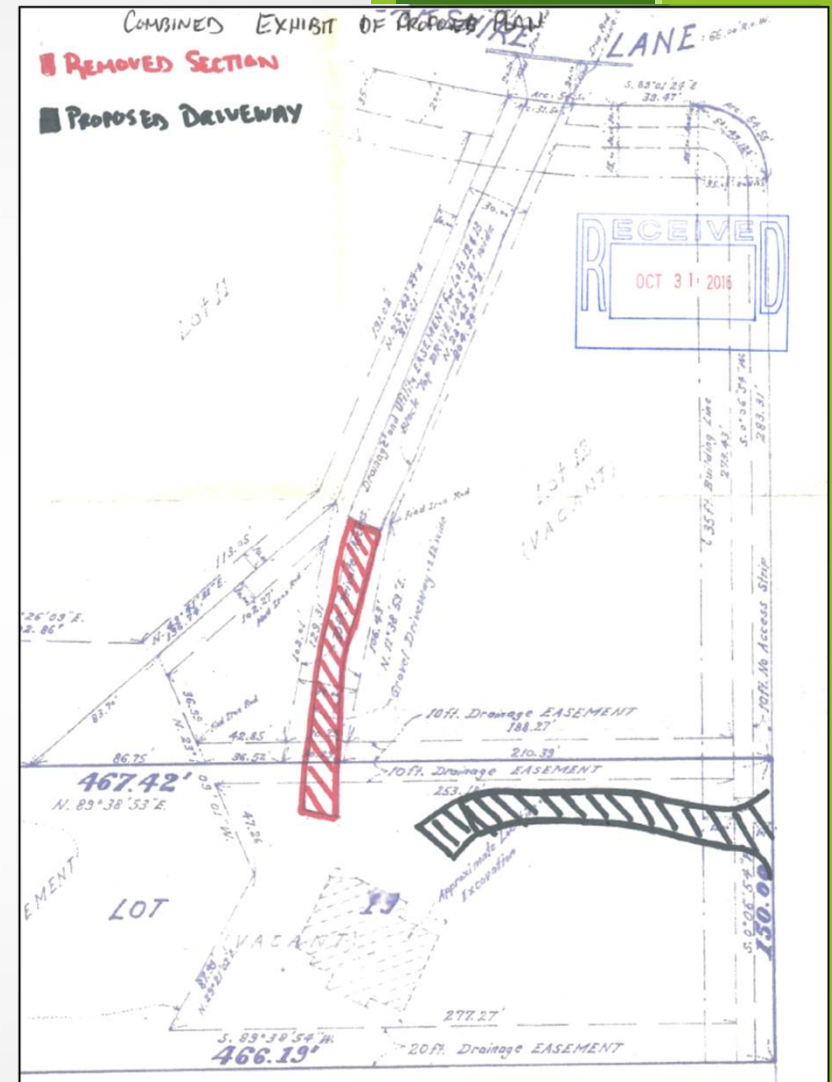
# AIR PHOTO CLOSE UP





# VARIATION REQUEST

Mr. & Mrs. Jacob Goebbert, lot 13 and Mr. & Mrs. Robert Waterworth, lot 12 of Oakshire Estates Subdivision are proposing a variation to abrogate the southern portion of the existing thirty (30) foot "private access easement" on lot 12 and the abrogation of the ten (10) foot "no access strip" on lot 13 to provide direct access to Brier Hill Road. The owners have provided a hand drawn exhibit date stamped October 31, 2016, which displays the proposed variation.



# FINDINGS & RECOMMENDATION

The Plat Officer has reviewed the request and finds the owners have met the conditions required per the Kane County Subdivision Ordinance 19-6: Variations and Exceptions which state in part: ...The plat officer shall not recommend variations or exceptions to the regulations of this chapter unless he shall make findings based upon the evidence presented to him in each specific case, that

1. Because of the particular physical surroundings, shape or topographic conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of regulations was carried out.
2. The conditions upon which the request for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property, and have not been created by any person having an interest in the property.
3. The granting of the variation will not be detrimental to the public health, safety or welfare, or injurious to other property or improvements in the neighborhood in which the property is located.

**RECOMMENDATION** The Plat Officer has determined the above-conditions to be met and recommends the Kane County Development Committee approval of this Variations and Exceptions Oakshire Estates Subdivision to abrogate the southern portion of the existing thirty (30) foot "private access easement" on lot 12 and the abrogation of the ten (10) foot "no access strip" on lot 13 to provide direct access to Brier Hill Road.



# COUNTY OF KANE

**DIVISION OF ENVIRONMENTAL &  
WATER RESOURCES**

Kenneth N. Anderson, Jr., Director



**County Government Center**

719 S. Batavia Avenue

Geneva, IL 60134

[www.co.kane.il.us](http://www.co.kane.il.us)

Environmental/Water:

(630) 208-5118

Fax:

(630) 208-3837

## *Plat Officer Findings and Recommendation*

To: Kane County Development Committee

From: Kenneth N. Anderson, Jr.  
Plat Officer

Date: November 15, 2016

Re: Variations & Exceptions Request (SAHN-16-01)  
Owner of Pine View Subdivision Lot 17 is Requesting a Building Setback Line Adjustment  
1N401 Shade Tree Lane (10-04-426-001)  
Section 4, Kaneville Township

Mr. & Mrs. Brian Vaughan, of Lot 17 of Pine View Subdivision is proposing a variation to adjust the front yard building setback line from fifty (50) foot to thirty-five (35) feet, to allow for the construction of an axillary building. The owner has provided a hand drawn exhibit which displays the proposed variation.

The Plat Officer has reviewed the request and finds the owners have met the conditions required per the Kane County Subdivision Ordinance 19-6: Variations and Exceptions which state in part: ...The plat officer shall not recommend variations or exceptions to the regulations of this chapter unless he shall make findings based upon the evidence presented to him in each specific case, that

1. Because of the particular physical surroundings, shape or topographic conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of regulations was carried out.
2. The conditions upon which the request for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property, and have not been created by any person having an interest in the property.
3. The granting of the variation will not be detrimental to the public health, safety or welfare, or injurious to other property or improvements in the neighborhood in which the property is located.

**RECOMMENDATION** The Plat Officer has determined the above-conditions to be met and recommends the Kane County Development Committee approval of this Variations and Exceptions for Pine View Subdivision Lot 17 to allow the front yard fifty (50) foot building setback line be reduced by fifteen (15) to a thirty-five (35) foot building setback line. This variation will allow for the construction of a proposed axillary building.



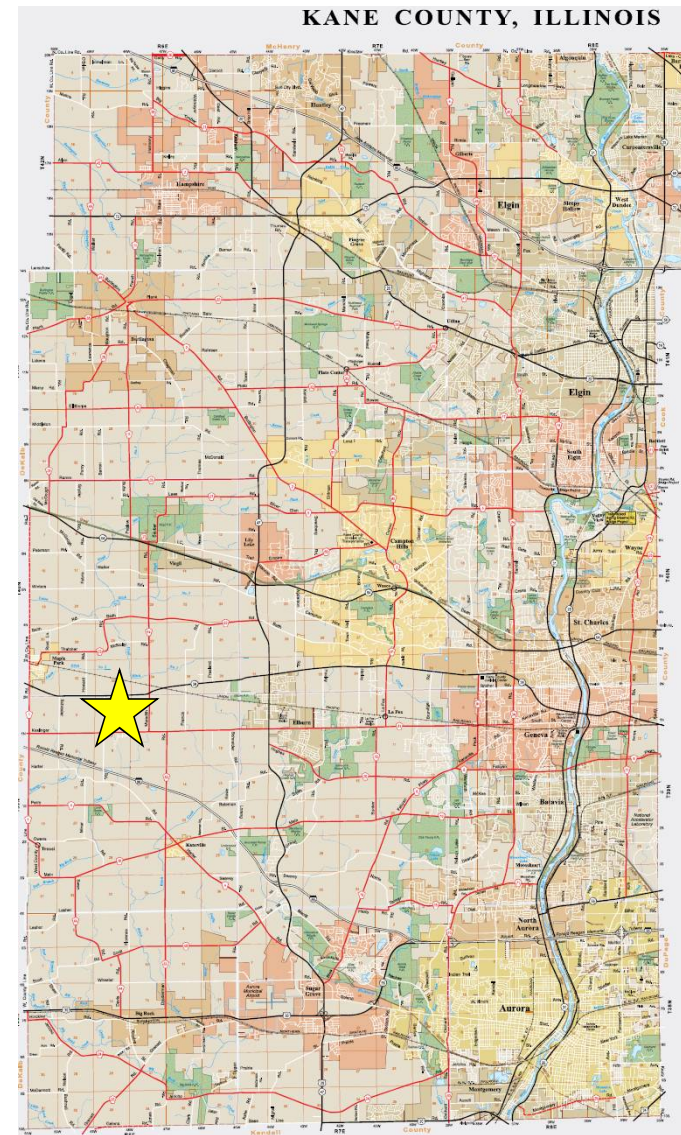
PINE VIEW SUBDIVISION  
Lot 17

VARIATIONS & EXCEPTIONS  
(PV-16-01)

Requesting Building Setback Line Variation

(1N401 Shade Tree)

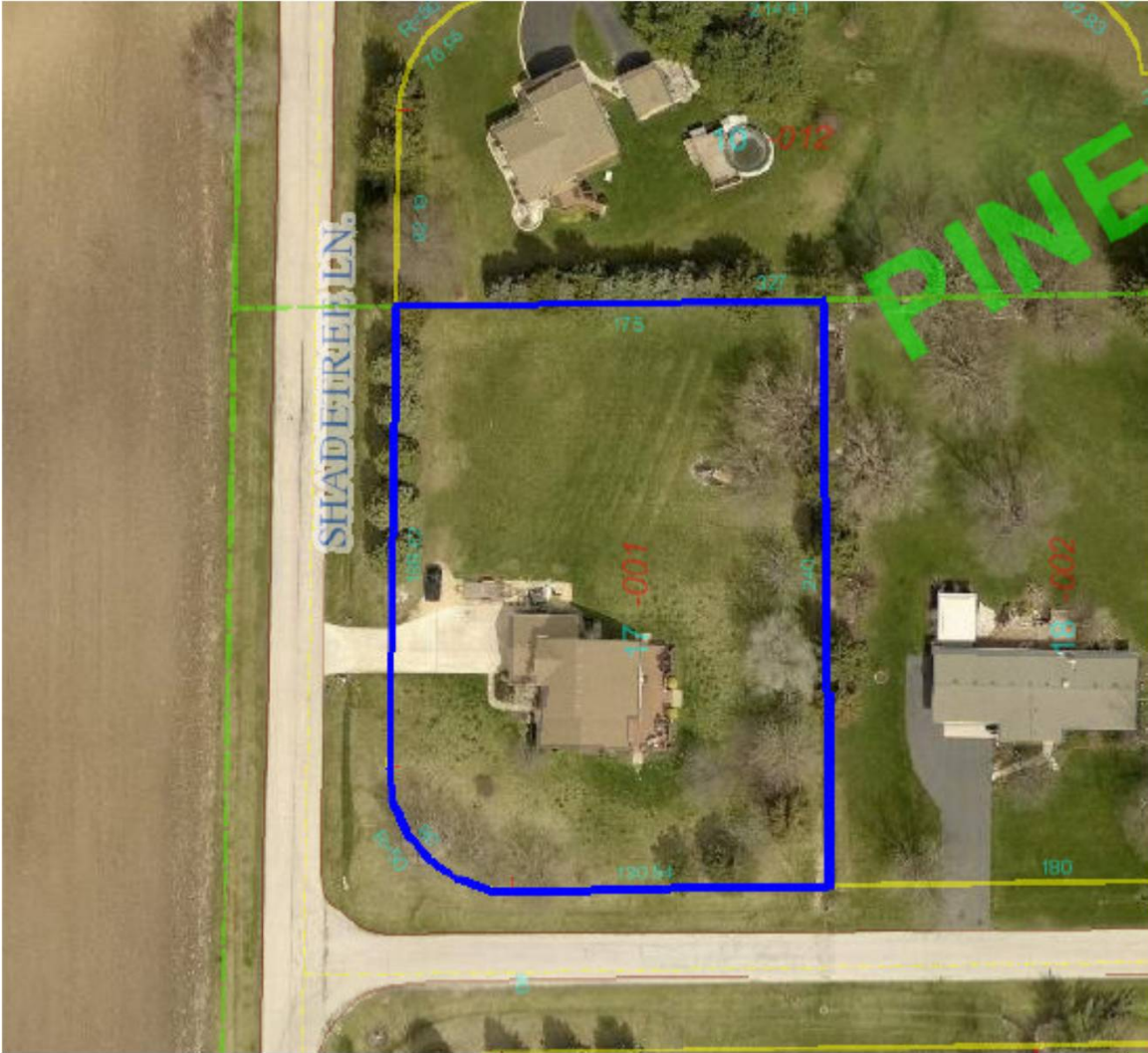
Section 4, Kaneville Township



# AIR PHOTO

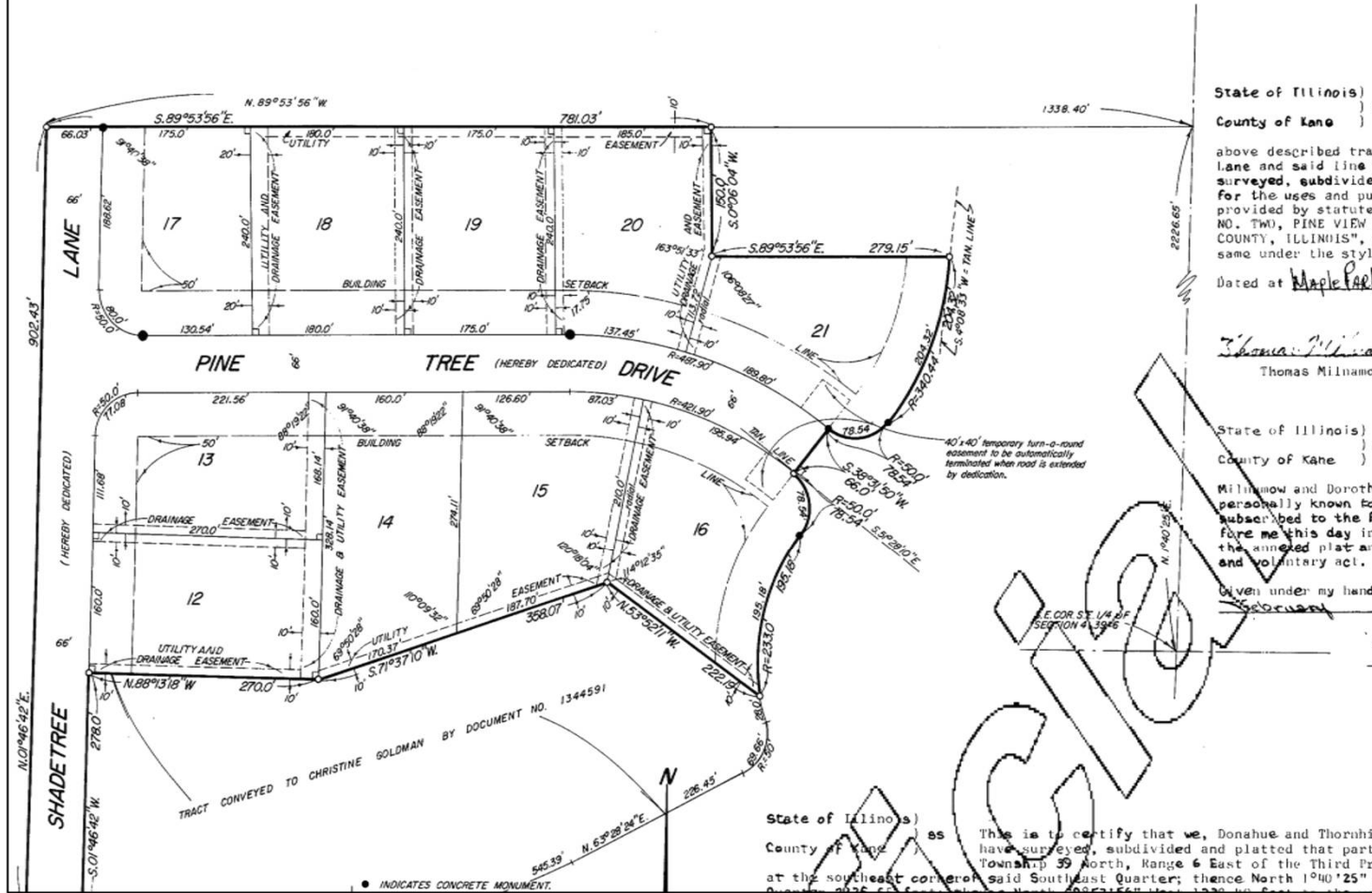






**UNIT NO. TWO  
PINE VIEW SUBDIVISION  
KANEVILLE TOWNSHIP KANE COUNTY ILLINOIS**

POOR ORIGINAL  
Recorder Not Responsible  
For Reproductions



State of Illinois )  
County of Kane )

above described tract  
Lane and said line  
surveyed, subdivided  
for the uses and pur  
provided by statute,  
NO. TWO, PINE VIEW S  
COUNTY, ILLINOIS", a  
same under the style

Dated at Maple Park

Thomas Milnamo  
Thomas Milnamo

State of Illinois )  
County of Kane )

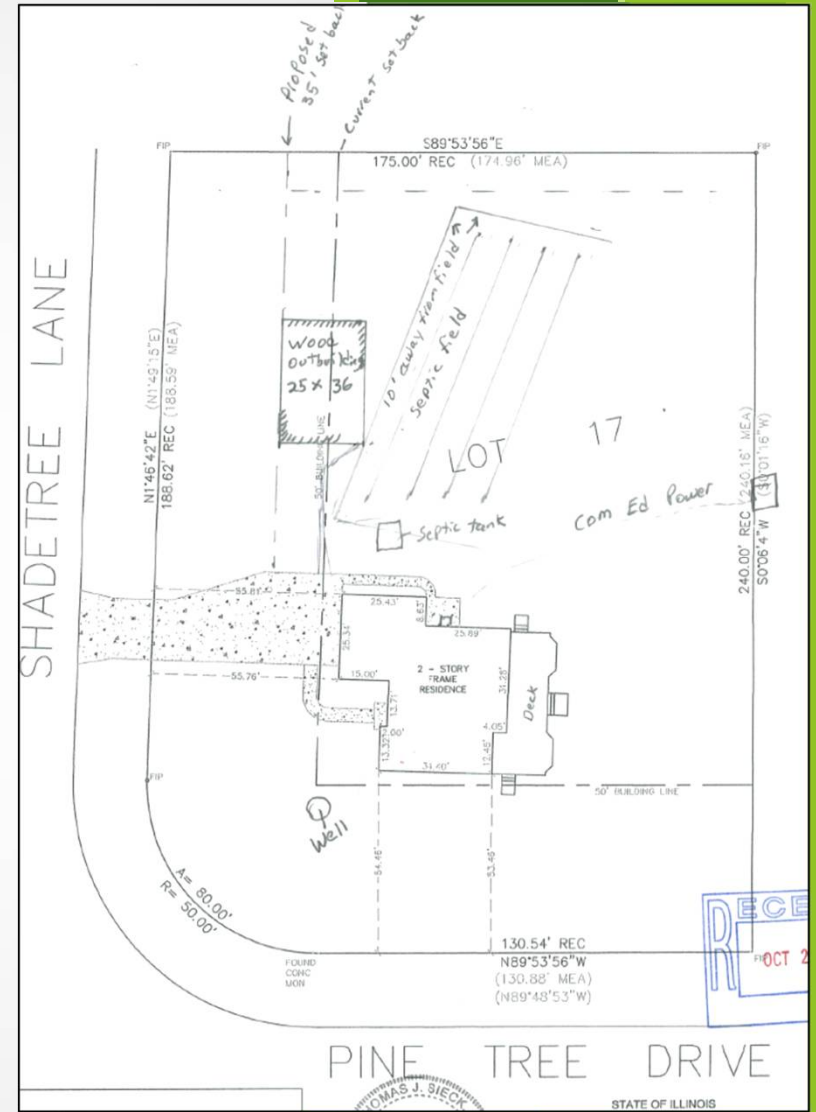
Milnamo and Dorothy  
personally known to  
subscribed to the fo  
for me this day in  
the annexed plat and  
and voluntary act.

Given under my hand  
Secretary

State of Illinois )  
County of Kane )  
This is to certify that we, Donahue and Thornhill  
have surveyed, subdivided and platted that part  
Township 39 North, Range 6 East of the Third Pri  
at the southeast corner of said Southeast Quarter; thence North 1°40'25" E  
...

# VARIATION REQUEST

The variation request is for the western fifty (50) foot building setback line to be reduced by fifteen (15) feet providing a thirty-five (35) foot building setback line. This will allow for the placement of a proposed axillary building.



# FINDINGS & RECOMMENDATION

The Technical Staff has reviewed the request and finds the following:

- u The proposed variation will not increase the density of the P.U.D.
- u The proposed variation will not decrease open space nor will it affect the physical layout and design of other lots in the neighborhood.
- u There will be no impact to the public health, safety and general welfare.

**RECOMMENDATION:** The Technical Staff recommends the Development Committee approve this request for a variation of Pine View Subdivision lot 17, which includes: the western building setback line being moved fifteen (15) feet to the west, permitting a thirty-five (35) foot building setback line.

# COUNTY OF KANE

## DIVISION OF ENVIRONMENTAL & WATER RESOURCES

Kenneth N. Anderson, Jr.  
Director



## County Government Center

719 S. Batavia Avenue  
Geneva, IL 60134

[www.co.kane.il.us](http://www.co.kane.il.us)

Subdivision/Environmental: (630) 208-5118  
FAX: (630) 208-3837

### *Staff Report & Recommendation*

To: Kane County Development Committee

From: Kenneth N. Anderson, Jr., Plat Officer

Date: November 15, 2016

Re: Springacres Hills North Subdivision Lot 76  
Minor Adjustment (SAHN-16-01) Building Setback Line Adjustment  
35W747 Valley View Road (03-09-301-012)  
Section 9, Dundee Township

Mr. & Mrs. Trevor Ward owners of lot 73 of Springacres Hills North Subdivision is proposing a minor adjustment to change the front yard building setback line in accordance with Section 19.143 Validity and Adjustment of the Kane County Subdivision Regulations. The owners have provided an exhibit date stamped October 17, 2016, which depicts the proposed minor adjustment.

The proposed minor adjustment includes the following:

- The front yard sixty-five (65) foot building setback line being reduced by fifteen (15) to a fifty (50) foot building setback line. This adjustment will allow for the construction of a proposed garage expansion.

The Technical Staff has reviewed the request and finds the following:

1. The proposed adjustment will not increase the density of the P.U.D.
2. The proposed adjustment will not decrease open space nor will it affect the physical layout and design of other lots in the neighborhood.
3. There will be no impact to the public health, safety and general welfare.

**RECOMMENDATION:** The Technical Staff recommends the Development Committee approve this request for a minor adjustment to Springacres Hills North Subdivision lot 76 front yard sixty-five (65) foot building setback line be reduced by fifteen (15) to a fifty (50) foot building setback line. This adjustment will allow for the construction of a proposed garage expansion.



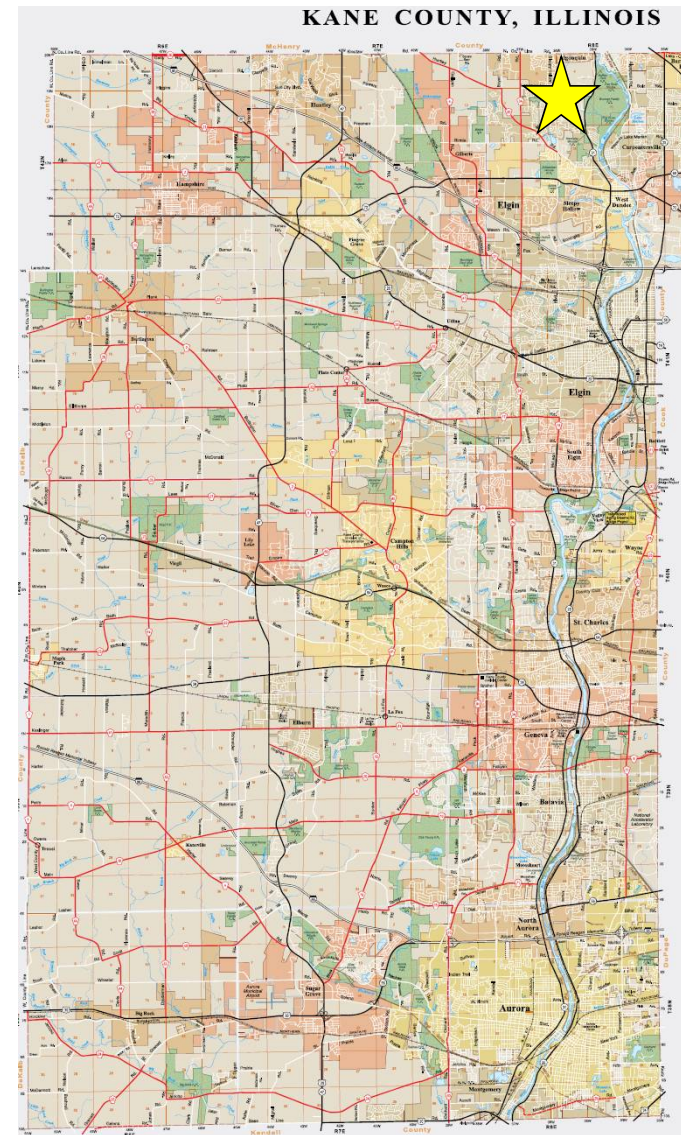
SPRINGACRES HILLS NORTH SUBDIVISION  
Lot 76

MINOR ADJUSTMENT  
(SAHN-16-01)

Requesting Building Setback Line Adjustment

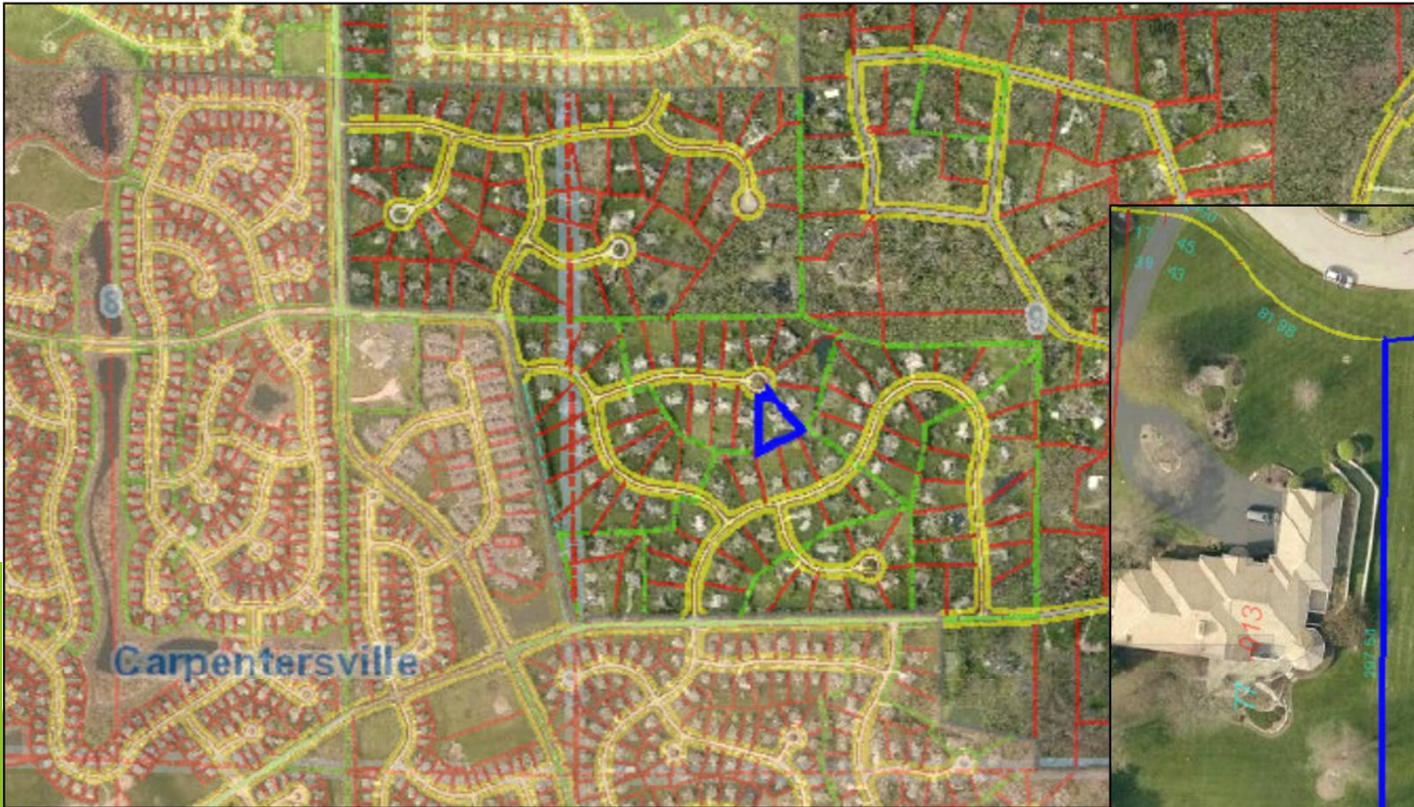
(35W747 Valley View Road)

Section 9, Dundee Township



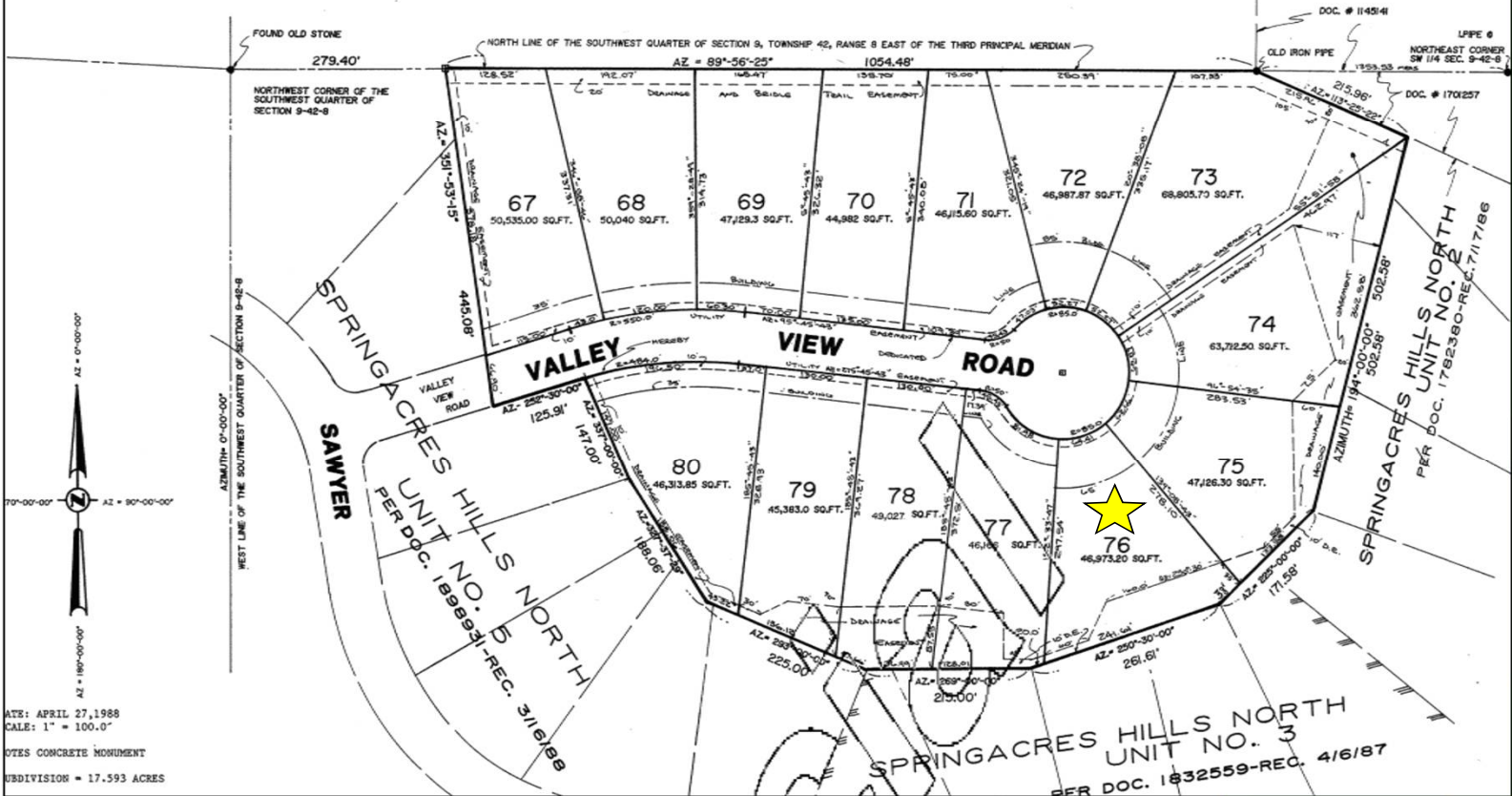


# AIR PHOTO



# FINAL PLAT SPRINGACRES HILLS NORTH UNIT 6

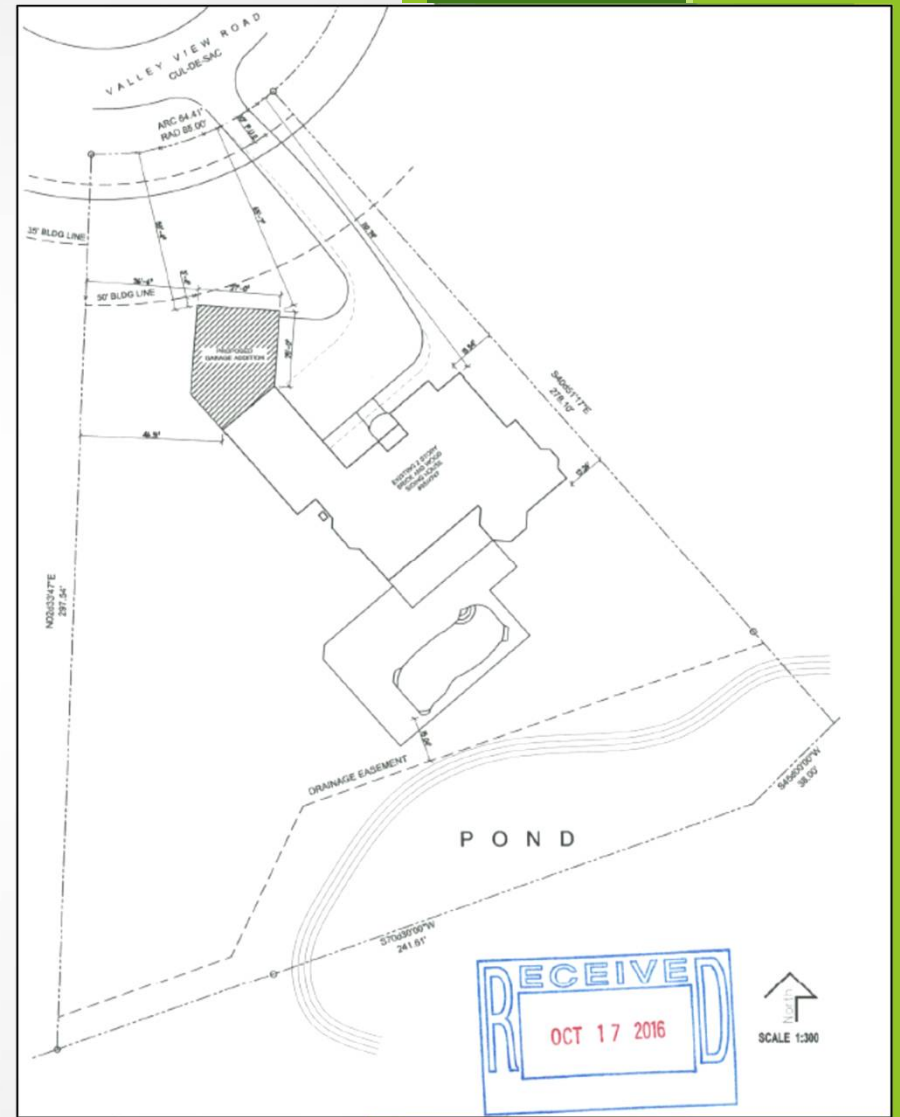
BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER  
OF SECTION 9, TOWNSHIP 42 NORTH, RANGE 8 EAST OF THE THIRD  
PRINCIPAL MERIDIAN, IN DUNDEE TOWNSHIP, KANE COUNTY, ILLINOIS.



DATE: APRIL 27, 1988  
SCALE: 1" = 100.0'  
CITES CONCRETE MONUMENT  
SUBDIVISION = 17.593 ACRES

# MINOR ADJUSTMENT

- The minor adjustment request is for the front yard sixty-five (65) foot building setback line to be reduced by fifteen (15) to a fifty (50) foot building setback line. This adjustment will allow for the construction of a proposed garage expansion.





# FINDINGS & RECOMMENDATION

The Technical Staff has reviewed the requested Minor Adjustment and finds the following:

- u The proposed adjustment will not increase the density of the P.U.D.
- u It will not decrease open space.
- u There will be no impact to the public health, safety and general welfare.

**RECOMMENDATION:** The Technical Staff recommends the Development Committee approve this request for a minor adjustment of Springacres Hills North Subdivision lot 76, which includes: The front yard sixty-five (65) foot building setback line being reduced by fifteen (15) to a fifty (50) foot building setback line.

# Kane County Water Resources

## HOA ESTABLISHMENT AND COST-SHARE PROJECTS

Development Committee  
November 15, 2016

# Emerald Creek HOA Establishment



- Unincorporated St. Charles Township
- 9 Lot Subdivision off Bolcum and Crane
- Platted in 2006
- Backup SSA Established for Stormwater Improvements





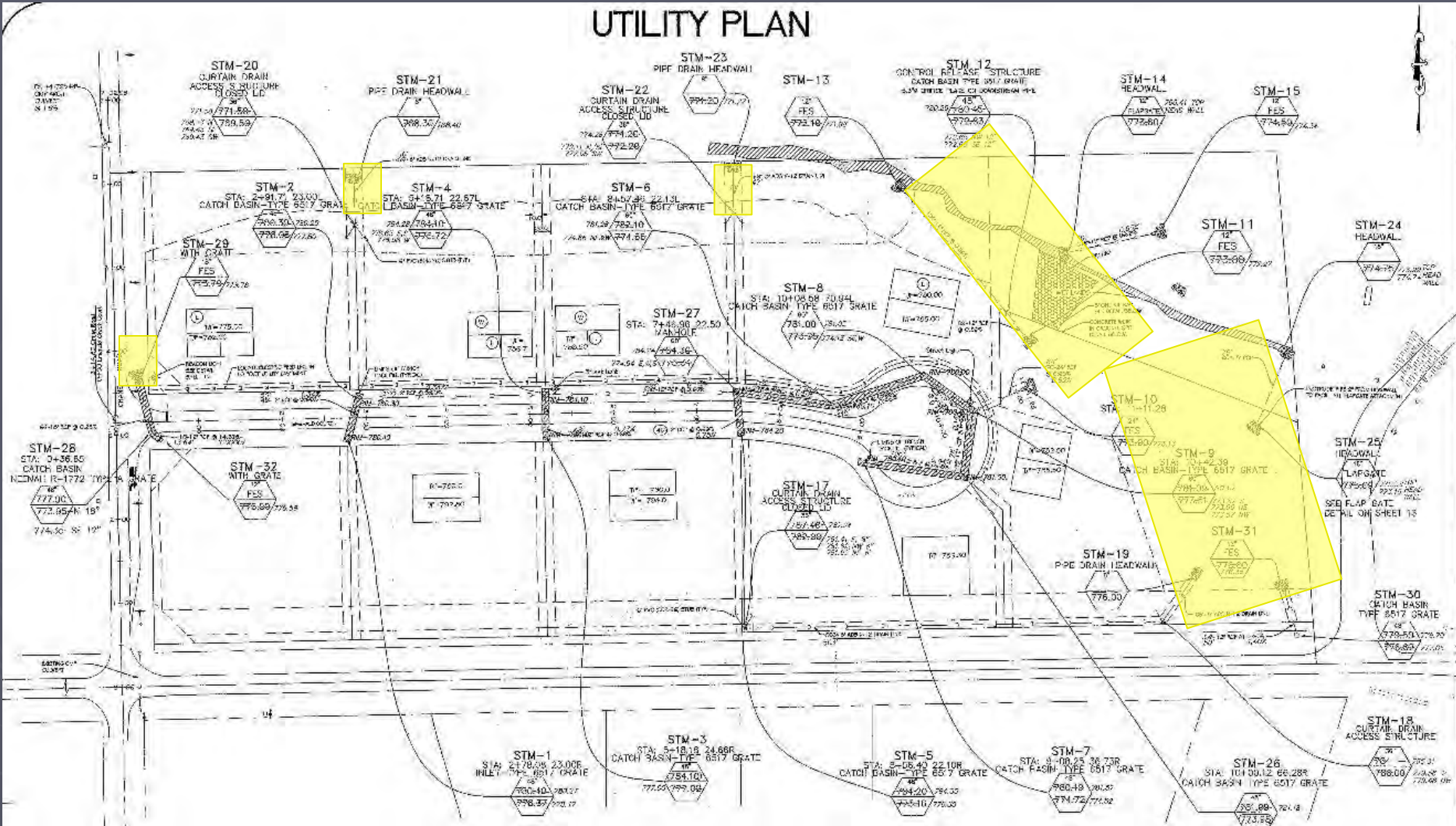
AUG/16/2011







# UTILITY PLAN



Action Item:  
Request Authorization to proceed with establishment of the Emerald Creek HOA

# Still Meadows – Pennycrest Cost-Share

- Unincorporated Blackberry Township
- Drantile Failure
- Basement flooding and septic failure





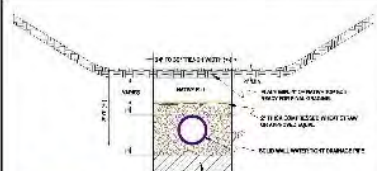
# EXISTING AGRICULTURAL DRAIN TILE INVESTIGATION PLAN

## PENNYCRESS COURT AT STILL MEADOWS

PREPARED FOR KANE CO. DEPT. OF WATER RESOURCES

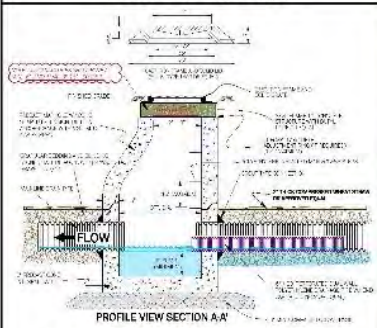
SECTION NO. 4, BLACKBERRY TWP., KANE CO., IL.

### DRAFT PLAN

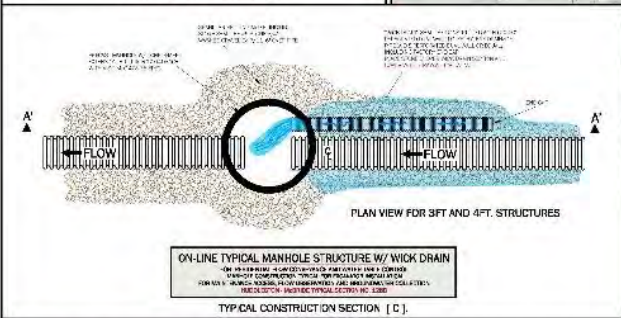


1. THE DRAIN TILE SYSTEM IS TO BE INSTALLED IN THE EXISTING TRENCHES AND NEW TRENCHES AS SHOWN ON THIS PLAN. THE DRAIN TILE SHALL BE INSTALLED IN THE EXISTING TRENCHES AND NEW TRENCHES AS SHOWN ON THIS PLAN. THE DRAIN TILE SHALL BE INSTALLED IN THE EXISTING TRENCHES AND NEW TRENCHES AS SHOWN ON THIS PLAN.

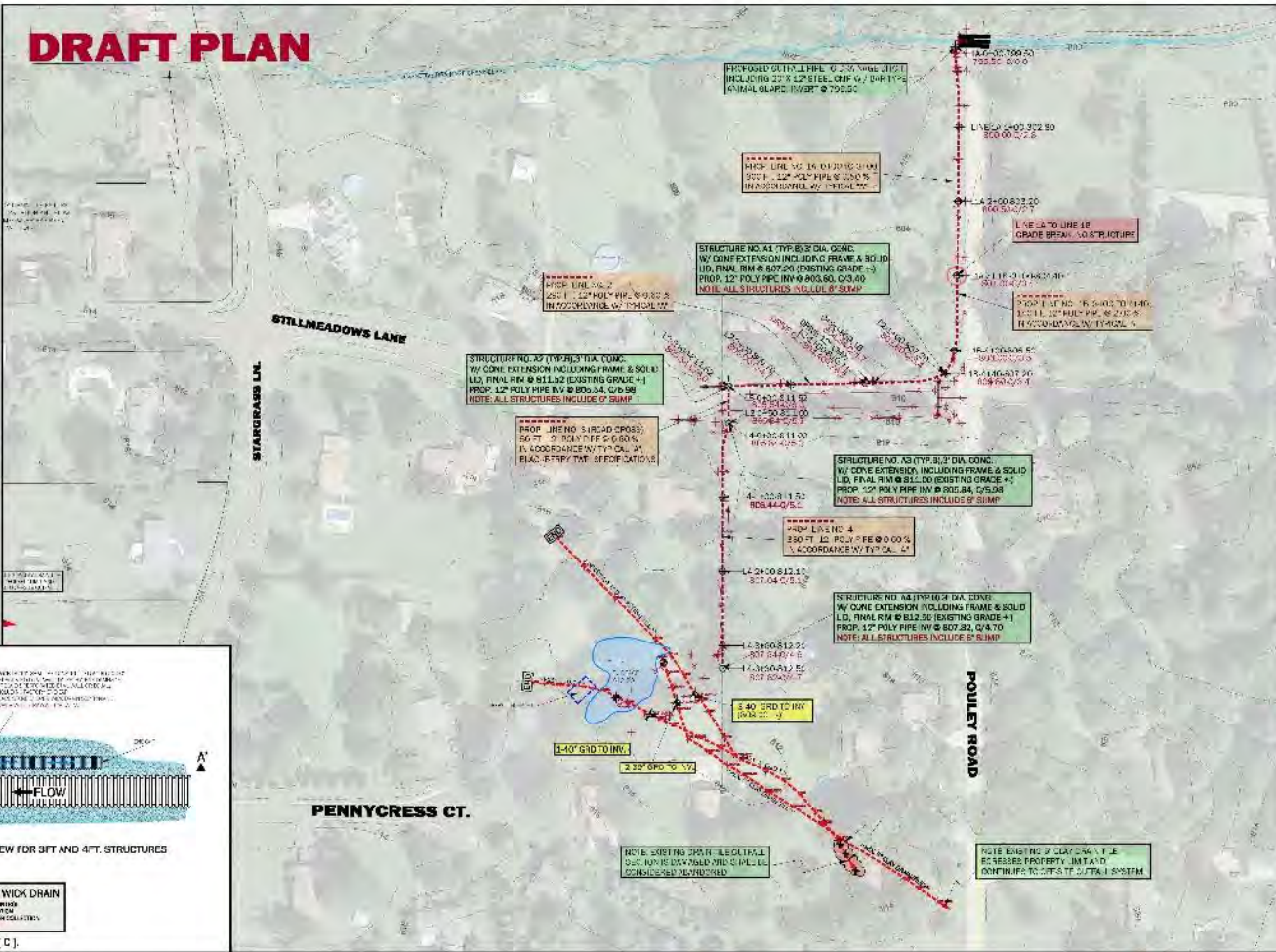
**UNDERDRAIN PIPE TRENCH SECTION FOR EXISTING TRENCHES AND NEW TRENCHES AS SHOWN ON THIS PLAN.**  
TYPICAL CONSTRUCTION SECTION [A].



**ON-LINE TYPICAL MANHOLE STRUCTURE W/ WICK DRAIN FOR EXISTING TRENCHES AND NEW TRENCHES AS SHOWN ON THIS PLAN.**  
TYPICAL CONSTRUCTION SECTION [B].



**ON-LINE TYPICAL MANHOLE STRUCTURE W/ WICK DRAIN FOR EXISTING TRENCHES AND NEW TRENCHES AS SHOWN ON THIS PLAN.**  
TYPICAL CONSTRUCTION SECTION [C].



**KANE CO. DEPT. OF WATER RESOURCES**  
JODIE WOLLNIK, P.E., PROJECT MANAGER  
719 BATAVIA AVENUE, GENEVA, IL, 60134

TOM HUDDLESTON 3/5/16  
HUDDLESTON DRAINAGE MAP AND DESIGN SERVICES  
TOM HUDDLESTON 3/5/16

3/5/16  
4.4.1  
4.4.1R2

SUN/WARM - 550

4" TO 100"

ONE OF ONE

**HUDDLESTON McBRIDE**  
PROFESSIONAL LAND DRAINAGE SERVICES  
8000 POLLEY RD., ROCKFORD, ILLINOIS 61107

# Still Meadows Cost-Share

- |                                |                 |
|--------------------------------|-----------------|
| ▶ Kane County Cost-Share       | \$20,000        |
| ▶ Blackberry Twp Road District | \$20,000        |
| ▶ Still Meadows Residents      | <u>\$15,000</u> |
| ▶ Total Project                | \$55,000        |
- 
- ▶ Blackberry Township is work in kind for installing the pipe within the road rights of way and paving.



# Stonecrest I Storm Sewer



- ▶ Unincorporated Plato Township
- ▶ Pipe Failure
- ▶ Groundwater control and Surface conveyance issue









Ms. Jodie Wollnik, PE, CFM  
Assistant Director  
Kane County Division of Environmental and Water Resources  
719 South Batavia Avenue, Building A - 1<sup>st</sup> Floor  
Geneva, IL 60134

June 29, 2016

RE: Stonecrest Storm Sewer System

Dear Ms. Wollnik,

On behalf of Advanced Drainage Systems, Inc. (ADS), I am writing to you regarding the request to review televised corrugated HDPE storm sewer on the above referenced project. Per your request, we have reviewed the film and offer the following analysis and recommendations for your consideration:

1. The extensive differential settlement, line and grade, joint gap, cracking and deflection issues were likely caused by a combination of construction and installation issues including poor handling, severe equipment loading, inconsistent bedding, poor compaction, and structural support.
2. The majority of MH to MH runs will likely need to be replaced. Per your request, we have prioritized areas for replacement based on the visual evidence provided:
  - a. **Priority Level: Very High <1 Year**
    - i. MH Run 1-2 (325' of 18" HDPE Pipe)
    - ii. MH Run 4-3 (308' of 18" HDPE Pipe)
    - iii. MH Run 25-26 (290' of 30" HDPE Pipe)
  - b. **Priority Level: High 1-3 Years**
    - i. MH Run 2-8 (305' of 30" HDPE Pipe)
    - ii. MH Run 8-6 (195' of 30" HDPE Pipe)
    - iii. MH Run 12-13 (293' of 36" HDPE Pipe)
    - iv. MH Run 14-15 (298' of 36" HDPE Pipe)
  - c. **Priority Level: Medium 3-5 Years**
    - i. MH Run 6-7 (36' of 30" HDPE Pipe)
    - ii. MH Run 13-14 (96' of 36" HDPE Pipe)
    - iii. MH Run P&S 2 to 15 (186' of 12" HDPE)
    - iv. MH Run 18-19 (303' of 12" HDPE Pipe)
    - v. MH Run 20-21 (80' of 12" HDPE Pipe)
  - d. **Priority Level: Low 5-10 Years**
    - i. MH Run 11-12 (83' of 36" HDPE Pipe)
    - ii. MH Run 16-17 (76' of 12" HDPE Pipe)
    - iii. MH Run 17-18 (263' of 12" HDPE Pipe)
    - iv. MH Run 19-20 (285' of 12" HDPE Pipe)
    - v. MH Run 24 to P&S 3 (72' of 24" HDPE Pipe)

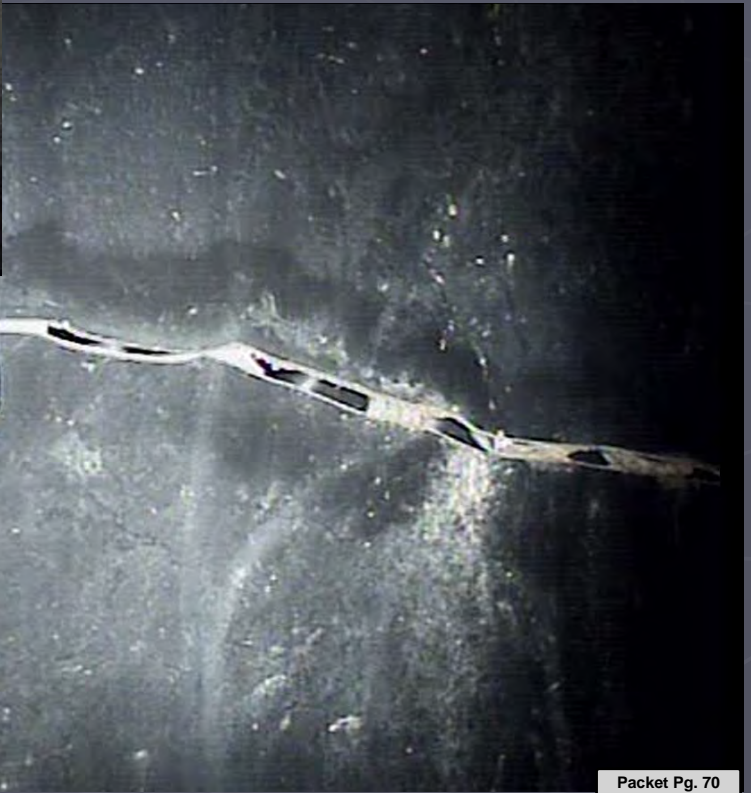


Pipe Segment 1-2





Pipe Segment 3-4



Pipe Segment 25-26



# Stonecrest I Storm Sewer Replacement 3 Year Budget

- |                      |                 |
|----------------------|-----------------|
| ▶ FY-2017            | \$63,000        |
| ▶ FY 2018            | \$63,000        |
| ▶ FY 2019            | <u>\$63,000</u> |
| ▶ Total Project Cost | \$189,000       |
- 
- ▶ Total pipe replacement 3500 lin. ft. includes Very High, High and Medium pipe recommended replacements from ADS

# Cost-Share Policy

- ▶ Current policy adopted in 2009 states that **Cost-Share is to “aid in solving stormwater and subsurface drainage problems in older residential areas of the County”.**
- ▶ Discussion of pre-Ordinance subdivisions was part of approval, however it was decided that subdivisions not meeting modern engineering practices was more **appropriate to define “older subdivisions”.**

# Cost Share 2016-013 Stonecrest I Phase 1 Stormsewer Replacement

- |                          |                 |
|--------------------------|-----------------|
| ▶ Kane County Cost-Share | \$31,500        |
| ▶ Stonecrest I HOA       | <u>\$31,500</u> |
| ▶ Total Project Cost     | \$63,000        |
- 
- ▶ Recommend approval of Cost-Share 16-013 with exception to Cost-Share policy

# COUNTY OF KANE

**KANE COUNTY DIVISION OF  
ENVIRONMENTAL & WATER  
RESOURCES**



**Kenneth N. Anderson, Jr  
Director**

**Jodie L. Wollnik, P.E., CFM  
Assistant Director**

**County Government Center**  
719 Batavia Avenue  
Geneva, IL 60134  
Phone: (630) 232-3497  
Fax: (630) 208-3837  
e-mail: [WollnikJodie@co.kane.il.us](mailto:WollnikJodie@co.kane.il.us)  
website: <http://www.co.kane.il.us>

## INACTIVE HOMEOWNER ASSOCIATIONS AND SPECIAL SERVICE AREAS POLICY STATEMENT

Kane County Division of Environmental and Water Resources

November 7, 2016

1. When the Kane County Division of Environmental and Water Resources (Water Resources) discovers that a Homeowner Association (HOA) has not been established or is no longer active in performing duties related to Long Term Stormwater Maintenance in accordance with the issued Stormwater Management Permit, Plat of Subdivision Drainage Easement provisions or Covenant, Deeds & Restrictions, Water Resources shall make an attempt to contact the developer or last known board members to inquire as to the status of the HOA.
2. If it is found that the HOA has either not been established, is defunct, or inactive, Water Resources shall report the status to the Kane County Development Committee (Development Committee) and obtain verbal approval to proceed with steps to encourage property owners to re-establish the HOA.
3. If the Development Committee provides verbal approval to proceed, Water Resources shall conduct an inspection of the stormwater facilities within the subdivision. If necessary, the inspection shall be performed by a third party consultant. A report of the findings shall be generated.
4. Water Resources shall provide, by mail, a notice to each property owner within the subdivision. The notice shall document the requirements of the Stormwater Management Permit for the subdivision, required duties of the HOA and the inspection report. The notice shall outline a timeline for re-establishing the HOA and completing any required maintenance duties identified in the report.
5. Water Resources shall include in the notice an explanation of the Special Service Area (SSA) for stormwater purposes and authority to levy on the SSA to perform the duties not being performed by the HOA. Included also shall be Kane County Purchasing Department requirements for work performed. The notification shall include staff hourly billing rates for management of the stormwater facilities in the subdivision. All staff time and other related expenses shall be compensated by the established SSA.
6. If the subdivision decides to activate the HOA within the timeframe specified, Water Resources shall require any re-activated or established HOA's to document with the Water Resources Division the elected HOA Board Members and the schedule for maintenance of the stormwater facilities identified in the report. At the HOA Board's request, Water Resources shall provide digital copies of the subdivision plans, permit and maintenance schedule to the HOA.
7. If the subdivision does not activate the HOA within the timeframe specified, Water Resources shall develop a budget for the subdivision for long term maintenance of the stormwater facilities and emergency services and hold a public hearing for the levy of taxes upon the lots within the subdivision for the purpose of Long Term Maintenance of Stormwater Facilities. The public hearing shall be set for the month in which the Kane County Board considers the other Levy Ordinances in fall of each calendar year.



# COUNTY OF KANE

KANE COUNTY DIVISION OF  
ENVIRONMENTAL & WATER  
RESOURCES



**County Government Center**  
719 Batavia Avenue  
Geneva, IL 60134  
Phone: (630) 232-3497  
Fax: (630) 208-3837  
website: <http://www.co.kane.il.us>

**Kenneth N. Anderson, Jr**  
Director

## STAFF RECOMMENDATION

TO: Development Committee  
Kane County Board

FROM: Jodie L. Wollnik, P.E.  
Water Resources Division

DATE: November 7, 2016

RE: Cost-Share Drainage  
Improvement Projects FY-2016

The following report is being submitted in accordance with the Policy and Guidelines for the Allocation and Disbursement of Assistance Funds for Stormwater And Subsurface Drainage Improvements discussed by the Development Committee on December 21, 1993:

1. Project Number: 2016-012
2. Project Location:
  - Still Meadows Subdivision
  - Blackberry Township – Section 4
  - North of Keslinger Road, West of Pouley Road
3. Description of Improvements:
  - 800 lin. ft of drain tile repair/replacement

4.	<u>Cost:</u>	<u>Total Project</u>	<u>Percent Share</u>
	<b>Total Cost:</b>	<b>\$55,000.00</b>	<b>100%</b>
	• Kane County Water Resources Division	\$20,000.00	36%
	• Still Meadows Residents	\$15,000.00	28%
	• Blackberry Township Road District (labor in kind)	\$20,000.00	36%

5. Start Date:
  - Immediately

6. Type of Problem(s):

The existing drain tile is in disrepair and has caused significant flooding in the rear of the homes behind Pennycrest. Water Resources has been working with residents to provide a long term maintainable and reliable system and the original path of the drain tile is not reasonable to repair or maintain. The cost-share agreement above will be accomplished in three parts working with the various residents and Blackberry Township to complete the improvements.

# COUNTY OF KANE

KANE COUNTY DIVISION OF  
ENVIRONMENTAL & WATER  
RESOURCES



**County Government Center**  
719 Batavia Avenue  
Geneva, IL 60134  
Phone: (630) 232-3497  
Fax: (630) 208-3837  
website: <http://www.co.kane.il.us>

**Kenneth N. Anderson, Jr**  
Director

## STAFF RECOMMENDATION

TO: Development Committee  
Kane County Board

FROM: Jodie L. Wollnik, P.E.  
Water Resources Division

DATE: November 7, 2016

RE: Cost-Share Drainage  
Improvement Projects FY-2016

The following report is being submitted in accordance with the Policy and Guidelines for the Allocation and Disbursement of Assistance Funds for Stormwater And Subsurface Drainage Improvements discussed by the Development Committee on December 21, 1993:

1. Project Number: 2016-013
2. Project Location:
  - Stonecrest I Subdivision – Phase 1
  - Plato Township – Section 14
  - North of Russell Road, East of Muirhead Road
3. Description of Improvements:
  - 1,000 lin. ft of storm sewer replacement – 18” – 30” diameter
4. 

<u>Cost:</u>	<u>Total Project</u>	<u>Percent Share</u>
<b>Total Cost:</b>	<b>\$63,000.00</b>	<b>100%</b>
• Kane County Water Resources Division	\$31,500.00	50%
• Stonecrest I HOA	\$31,500.00	50%
5. Start Date:
  - Immediately
6. Type of Problem(s):

The existing storm sewer is in failure. The pipe manufacturer has deemed Phase 1 as the most critical sections for replacement. See Power Point for additional information.



## RESOLUTION/ORDINANCE EXECUTIVE SUMMARY

### Resolution No.

Authorizing Intergovernmental Agreement between the Mill Creek Water Reclamation District and the County of Kane for the Monitoring and Maintenance of Observation Wells within the Mill Creek Subdivision

**Committee Flow:** County Development Committee, Executive Committee, County Board

**Contact:** Ken Anderson Jr., 630.208.3179

### Budget Information:

Was this item budgeted? Yes	Appropriation Amount:
If not budgeted, explain funding source:	

### Summary:

The County has received complaints within the southern portion of Mill Creek Subdivision Neighborhood Y related to excessive sump pump cycling beginning the spring of 2015, the County working with others has been in the process of determining the sources of groundwater and a solution. The County and Mill Creek Water Reclamation District (MCWRD) have determined it is beneficial to install four (4) monitoring wells to determine, evaluate and monitoring the groundwater conditions within the southern portion of Mill Creek Subdivision Neighborhood Y.

STATE OF ILLINOIS

COUNTY OF KANE

RESOLUTION NO.

**AUTHORIZING INTERGOVERNMENTAL AGREEMENT BETWEEN THE MILL CREEK WATER RECLAMATION DISTRICT AND THE COUNTY OF KANE FOR THE MONITORING AND MAINTENANCE OF OBSERVATION WELLS WITHIN THE MILL CREEK SUBDIVISION**

WHEREAS, the Mill Creek Water Reclamation District (District) and Kane County, Illinois (County) are public agencies within the meaning of the Intergovernmental Cooperation Act; and

WHEREAS, the District and County are also units of local government within the meaning of Section 10 of article 7 of the Constitution of the State of the Illinois; and

WHEREAS, the County has received complaints within Mill Creek Subdivision Neighborhood Y related to excessive sump pump cycling beginning the spring of 2015, the County working with others has been in the process of determining the sources of groundwater and a solution; and

WHEREAS, the County and Mill Creek Water Reclamation District (District) have determined it is beneficial to install four (4) monitoring wells to determine, evaluate and monitor the groundwater conditions within the Mill Creek Subdivision Neighborhood Y; and

WHEREAS, the County has contracted with Testing Services Corporation (TSC) for the installation of four (4) groundwater monitoring wells, and all parties are to provide financially in lieu of in kind services; and

WHEREAS, The County will be responsible for all permitting related to the installation of said wells; and

NOW, THEREFORE, BE IT RESOLVED that the County Board Chairman is hereby authorized to enter into an intergovernmental agreement with the Mill Creek Water Reclamation District.

Passed by the Kane County Board on December 13, 2016.

---

John A. Cunningham  
Clerk, County Board  
Kane County, Illinois

---

Christopher J. Lauzen  
Chairman, County Board  
Kane County, Illinois

Vote:

16-12 MCWRD IGA

**INTERGOVERNMENTAL AGREEMENT BETWEEN THE  
MILL CREEK WATER RECLAMATION DISTRICT AND THE COUNTY OF KANE  
FOR THE MONITORING AND MAINTENANCE OF OBSERVATION WELLS  
WITHIN THE MILL CREEK SUBDIVISION**

THIS AGREEMENT is hereby made and entered into as of the date of final execution below, by and between the MILL CREEK WATER RECLAMATION DISTRICT, a municipal corporation (hereinafter referred to as the “District”), and KANE COUNTY, ILLINOIS (hereinafter referred to as the “County”).

**WITNESSETH**

WHEREAS, the District and the County are public agencies within the meaning of the Intergovernmental Cooperation Act; and

WHEREAS, the District and the County are also units of local government within the meaning of Section 10 of Article 7 of the Constitution of the State of Illinois; and

WHEREAS, the County has received complaints within Mill Creek Subdivision Neighborhood Y related to excessive sump pump cycling beginning the spring of 2015, the County working with others has been in the process of determining the sources of groundwater and a solution; and

WHEREAS, the County and District have determined it is beneficial to install four (4) monitoring wells to determine, evaluate and monitor the groundwater conditions within the Mill Creek Subdivision Neighborhood Y; and

WHEREAS, the District and the County are authorized to contract among themselves to obtain or share services, or exercise, combine, or transfer any power or function in any manner not prohibited by law; and

WHEREAS, the County has contracted with Testing Services Corporation (TSC) for the installation of four (4) groundwater monitoring wells, located within the right of way, within the District boundaries, all parties are to provide financially in lieu of in kind services; and

WHEREAS, The County will be responsible for all permitting related to the installation of said wells.

NOW, THEREFORE, in consideration of the mutual promises and covenants contained herein, the District and County agree as follows:

**SECTION 1. RECITALS**

The foregoing recitals are hereby incorporated into this agreement in their entirety.

**SECTION 2. SCOPE OF SERVICES**

- (A) The installation of these wells is proportionally paid for by the District, Shodeen, Inc., and County, full participation by all is required before the distribution of public funds.
- (B) The District agrees to conduction groundwater observations on mutually agreed upon schedule. All data obtained shall be shared with all parties.
- (C) The District agrees to maintain the groundwater wells for a five (5) year upon approval of this agreement, the parties shall disposition of the existing wells.

**SECTION 3. CHANGES**

The District may, from time to time, require or request changes in the scope of services to be performed hereunder. Such changes which are mutually agreed upon by and between the County and the District shall be incorporated only in written amendments to this Agreement.

**SECTION 4. TERMINATION**

Default. This Agreement may be terminated in whole or in part in writing by either party provided that no such termination may be effected unless the other party is given not less than sixty (60) calendar days written notice of intent to terminate.

**SECTION 5. REMEDIES**

Except as may be otherwise provided in this Agreement, all claims, counter-claims, disputes and other matters in question between the County and the District arising out of or relating to this Agreement or the breach thereof shall be resolved in the Circuit Court of Kane County. Each party shall be responsible for its own attorney's fees and costs.

**SECTION 7. HOLD HARMLESS**

The District and County agree to assume all risk of loss and to indemnify and hold each other and, its officers, agents and employees, harmless from and against any and all liabilities, demands, claims, suits, losses, damages, causes of action, fines or judgments, including costs, attorneys' and witnesses' fees, and expenses incident thereto, for injuries to persons (including death) and for loss of, damage to, or destruction of property because of or arising out of either's negligent or intentional acts or omissions.

**SECTION 8. SEVERABILITY**

The terms of this agreement shall be severable. In the event any of the terms or provisions of this agreement are deemed to be void or otherwise unenforceable, the remainder of this agreement shall remain in full force and effect.

The foregoing constitutes the entire Agreement between the parties, and no verbal statement shall supersede any of its provisions.

IN WITNESS HEREOF, the parties have caused this Agreement to be signed by their respective duly authorized officers on the dates noted below.

**COUNTY OF KANE**

**MILL CREEK WATER RECLAMATION DISTRICT**

By \_\_\_\_\_  
Christopher J. Lauzen  
Chairman  
Kane County, Illinois

By \_\_\_\_\_  
President  
Mill Creek Water Reclamation District

Date \_\_\_\_\_

Date \_\_\_\_\_